



**1587 York Place/1562 Prospect
Place Heritage Revitalization Agreement Authorization Bylaw
No. 4885, 2025**

Consolidated for Convenience Only

This consolidation is not a legal document. Certified copies of the original bylaws should be consulted for all interpretations and application of the bylaws of this subject.

Consolidated up to **July 20, 2026** to include Bylaws:

4975 Adopted July 20, 2026

THE CORPORATION OF THE DISTRICT OF OAK BAY

BYLAW NO. 4885

A Bylaw to authorize a Heritage Revitalization Agreement for 1587 York Place and 1562 Prospect Place.

The Municipal Council of the Corporation of the District of Oak Bay, in an open meeting assembled, enacts as follows:

AGREEMENT

1. The Corporation of the District of Oak Bay is authorized to enter into a Heritage Revitalization Agreement – Amendment Agreement with Rebecca Miller for the properties known as: Lot 1, Section 69, Victoria District Plan EPP147642, PID No. 032-741-995, substantially in the form attached to this Bylaw as Schedule A.
2. The Mayor and the Director of Corporate Services are authorized to do all things and acts necessary to execute the said Heritage Revitalization Agreement – Amendment Agreement and to affix the seal of the District of Oak Bay thereto.
(Bylaw 4975, July. 20, 2026)

CITATION

This Bylaw may be known and cited for all purposes as “1587 York Place/1562 Prospect Place Heritage Revitalization Agreement Authorization Bylaw No. 4885, 2025”.

READ A FIRST TIME the	10 th day of February 2025
READ A SECOND TIME the	10 th day of February 2025
PUBLIC HEARING held on the	3 rd day of March 2025
AMENDED on the	13 th day of March, 2025
READ A THIRD TIME the	13 th day of March, 2025
ADOPTED the	13 th day of March, 2025

Kevin Murdoch, Mayor

Dianna Plouffe, Corporate Officer

HERITAGE REVITALIZATION AMENDMENT AGREEMENT

THIS AMENDMENT AGREEMENT is made the 20 day of July, 2026.

BETWEEN:

Rebecca Sarah MacDonald Miller
301-1106 Cook Street
Victoria, BC
V8V 3Z9
(the "Owner") of the first part

AND:

The Corporation of the District of Oak Bay
2167 Oak Bay Avenue
Victoria, BC
V8R 1G2
(the "District") of the second part

WHEREAS:

- A.** The Owner and the District entered into a Heritage Revitalization Agreement dated May 19, 2025 (the "HRA") regarding lands at that date having PID: 005-338-280 and 002-647-460 (the "Parent Titles").
- B.** The HRA contemplated the subdivision of the Parent Titles into 4 lots and this subdivision has been registered as Plan EPP 147642, a copy of which is attached hereto as Schedule "A" (the "Subdivision Plan").
- C.** The Heritage Building which is the subject of the HRA is located on Lot 1 as shown in the Subdivision Plan and Lot 1 has the following legal description:
PID: 032-741-995, Lot 1,
Section 69, Victoria District,
Plan EPP 147642 ("Lot 1").
- D.** The "Lands" referred to the HRA and this amendment Agreement shall mean the 4 lots created by the registration of the Subdivision Plan.
- E.** The HRA contemplated alterations and conversion of the Heritage Building to be situated in Lot 1 to a 4-unit strata which is no longer feasible and the HRA has been amended to a revised design which now contemplates a single family dwelling with a secondary suite.

NOW THEREFORE THIS AMENDMENT AGREEMENT (the "HRA Amendment") WITNESSES that in consideration of the mutual promises exchanged herein and to other good and valuable consideration (the receipt and sufficiency of which both parties acknowledge) the Owner and

District, covenant with the other pursuant to the section 610 of the Local Government Act, as follows:

1. The HRA shall be amended according to the provisions of this HRA Amendment.
2. Section 2.1 of the HRA is deleted and replaced with the following:

“2.1 The parties confirm that the Subdivision Plan has been approved and registered and the Owner covenants and agrees with the District to develop the Lands strictly in accordance with the HRA and the HRA Amendment, and as required under the terms of any permit or approvals issued by the District respecting the development of construction upon the Lands.”
3. As the Subdivision Plan has been approved and registered, Section 3.0 and 3.1 of the HRA shall be deleted.
4. Section 4.1 of the HRA shall be modified with the addition of the following provision:

“Notwithstanding the foregoing, the parties agree the Heritage Conservation Plan attached as Schedule “2” to the HRA shall be modified in accordance with the revisions set forth in the Cummer Heritage Consulting letter dated March 3, 2026 and the revised Zebra Designs Plans and revised landscape plans, copies of which are attached as Schedule “B”.”
5. Section 7.2 of the HRA should be modified by deleting the first sentence.
6. Section 7.3 of the HRA shall be modified with the addition of the following provision:

“The parties acknowledge that the building permit for construction of the accessory building on Lot 4 of the Subdivision Plan has been completed.”
7. Section 7.4 of the HRA shall be modified with the addition of the following provision:

“The parties acknowledge that the Subdivision Plan has been registered and the building permit contemplated by Section 7.3 has been completed.”
8. Add Section 8.2 to the HRA:

“8.2 Amenity Cost Charges Bylaw No. 4892, 2024 and Development Cost Charge Bylaw No.4891, 2024 are varied such that the Amenity Cost Charges and Development Cost Charges that would otherwise be payable in relation to the Work are reduced by 100% in accordance with the provisions of this Agreement.”
9. Given that the Subdivision Plan has been registered, Section 9.0 and 9.1 of the HRA shall be deleted.
10. Section 10.1 of the HRA shall be amended by the addition of the following paragraph:

“g) Maintain the interior of the Heritage Building consistent with the modified Heritage Conservation Plan.”

11. Section 12.1 and 12.2 of the HRA shall be deleted and replaced with the following:

“12.1 Lot 1 shall not be built upon an excavated except in accordance with the Agreement and as amended by the HRA Amendment.

12.2 Following completion of the work in accordance with the Agreement and as amended by the HRA Amendment, the Owner shall not alter the heritage character or the exterior appearance of the Heritage Building, except as permitted by a heritage alteration permit issued by the District.”

12. All other terms of the HRA shall remain applicable and continue to be binding upon the parties.

IN WITNESS WHEREOF the parties have executed this Amendment Agreement as of the day, month and year first above written.

SIGNED BY THE OWNER., in the presence of:

_____	)	
	)	
	)	
	)	
_____	)	_____ Rebecca Sarah Macdonald Miller
	)	
	)	
	)	
_____	)	
	)	

The Corporate Seal of the Corporation of the District of Oak Bay was affixed in the presence of:

Mayor

Director, Corporate Services

Subdivision Plan of
Amended Lot 1 (DD 2728871),
Section 69, Victoria District,
Plan 10717
and
Amended Lot 2 (DD 2728871),
Section 69, Victoria District,
Plan 10717

Plan EPP147642

BCGS 92B.044

SCALE 1 : 600

0 5 10 20 30 60

All distances are shown in metres.

The intended plot size of this plan
is 432mm in width by 560 mm in height
(C size) when plotted at a scale of 1:600.

LEGEND

Integrated Survey Area No. 34, District of Oak Bay,
NAD83(CRS)3.0.0.BC.1.ORD.

Grid bearings are derived from geodetic control
monuments 80H3592 and 80H3590 and are
referred to the central meridian of UTM Zone 10.

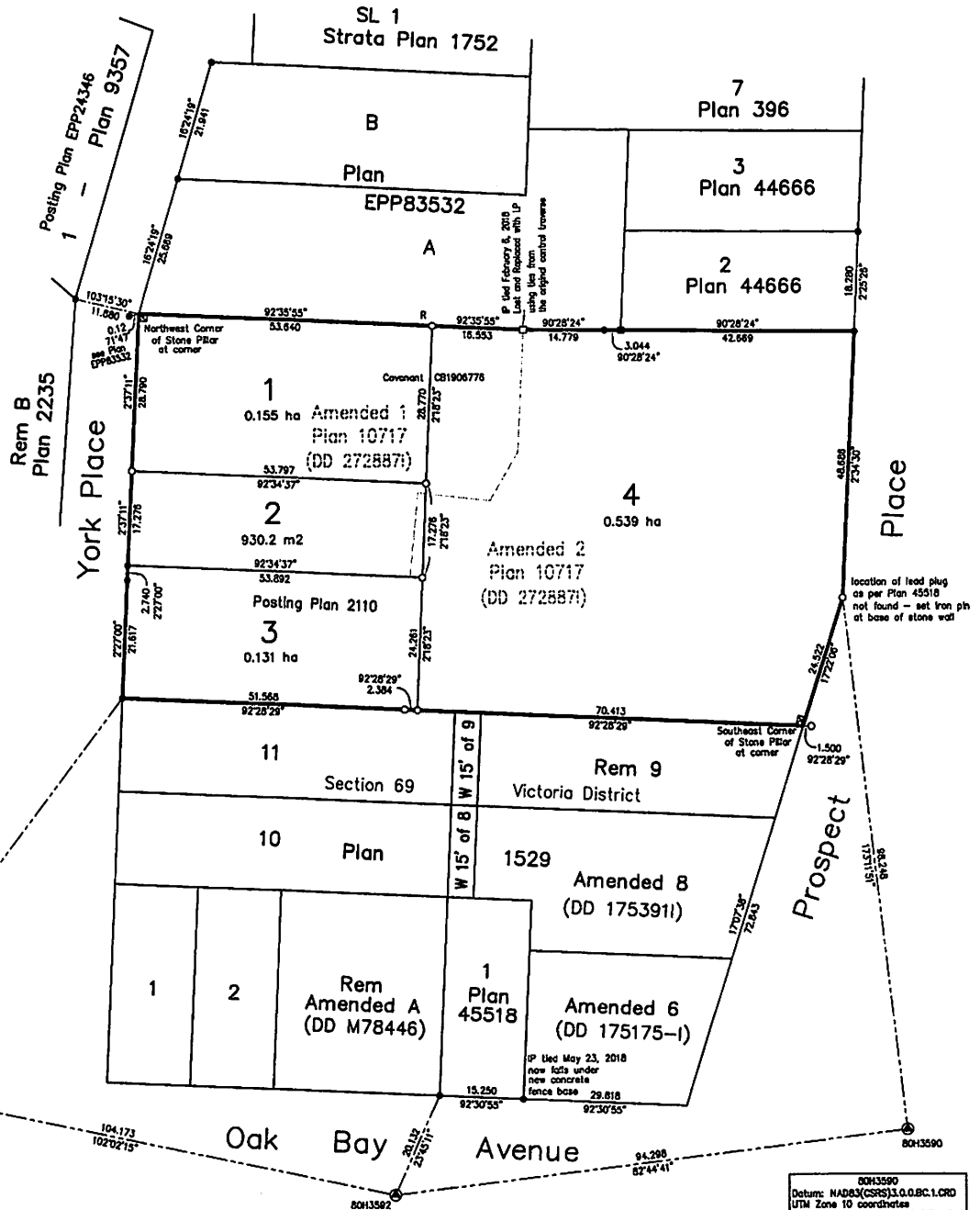
The UTM coordinates and estimated absolute
accuracy achieved are derived from the MASCOT
published coordinates and standard deviations for the
geodetic control monuments 80H3592 and 80H3590.

This plan shows horizontal ground-level distances unless
otherwise specified. To compute grid distances, multiply
ground level distances by the average combined factor
of 0.9996072 which has been derived from geodetic
control monument 80H3590.

Found	Set	Denotes
●	○	Standard Iron Post
○	○	Short Iron Post drilled in Rock
■	□	Standard Lead Plug
⊙		Control Monument

This plan shows one or more witness posts
which are not set on the true corner(s).

Evidence of occupation shown on this plan
was used in the re-establishment of boundaries.



80H3625
Datum: NAD83(CRS)3.0.0.BC.1.ORD
UTM Zone 10 coordinates
UTM Northing 5,363,791.579
UTM Easting 476,943.523
Absolute accuracy 0.01

80H3592
Datum: NAD83(CRS)3.0.0.BC.1.ORD
UTM Zone 10 coordinates
UTM Northing 5,363,729.662
UTM Easting 477,043.368
Absolute accuracy 0.01

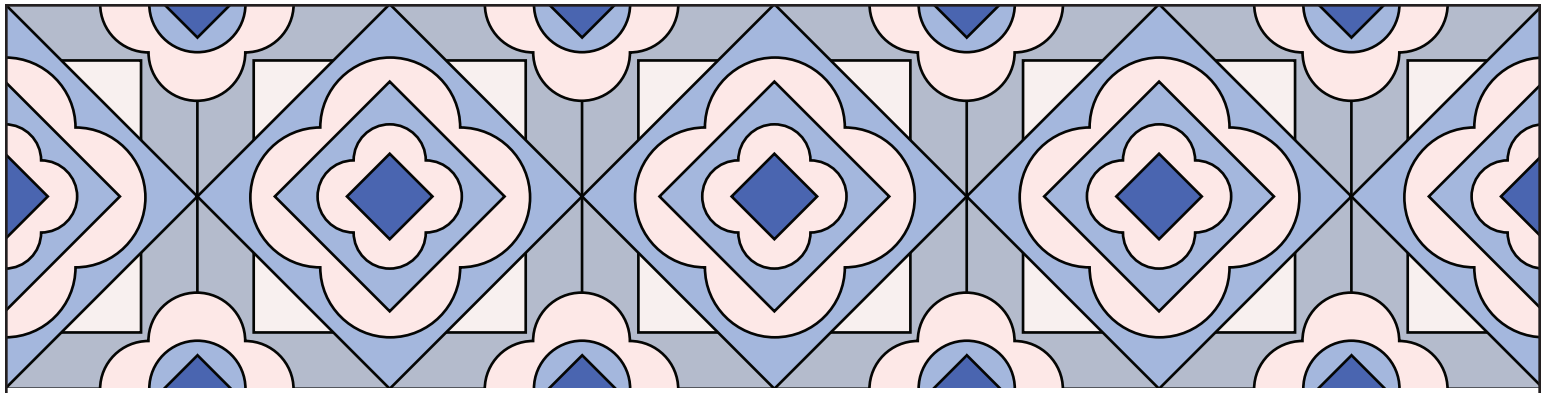
80H3590
Datum: NAD83(CRS)3.0.0.BC.1.ORD
UTM Zone 10 coordinates
UTM Northing 5,363,741.566
UTM Easting 477,136.572
Absolute accuracy 0.015

File 12408 - 14
Drawing SUB PLAN 02
V.I. POWELL & ASSOCIATES
Land Surveying
250-2650 Douglas Street
Victoria, BC V8T 4W4
Phone: (250) 362-8635

This plan lies within the jurisdiction of the
Approving Officer for the District of Oak Bay

This plan lies within the Capital Regional District.

The field survey represented by this plan was
completed on the 5th day of August, 2025.
James Worton, BCLS 757



HERITAGE CONSERVATION PLAN

Schedule B

ANNANDALE, 1587 YORK PLACE
DISTRICT OF OAK BAY, BC
JUNE 2026



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INTRODUCTION

The following report is a Heritage Conservation Plan for the proposed work to be done to 1587 York Place in the District of Oak Bay (Fig. 1), as part of a Heritage Revitalization Agreement. The subject house, Annandale, is a large one and a half storey bungalow with horizontal wood siding throughout and a wrap-around verandah around its front end. It has a hipped roof with multiple dormers and corbelled brick chimneys. It boasts numerous original double-hung horned wood windows of varying shapes and sizes.

The house sits in the middle of Oak Bay's Prospect Heritage Conservation Area (HCA). The proposed work involves reorienting the building to allow for its historical front entrance to be visible and usable from the street; restoring and rehabilitating the deteriorated elements as numerous elements have fallen into disrepair; returning the house to a Single-Family Dwelling with in-law quarters; renewing the landscaping on site; and subdividing the lot to facilitate much needed additional housing for the area.

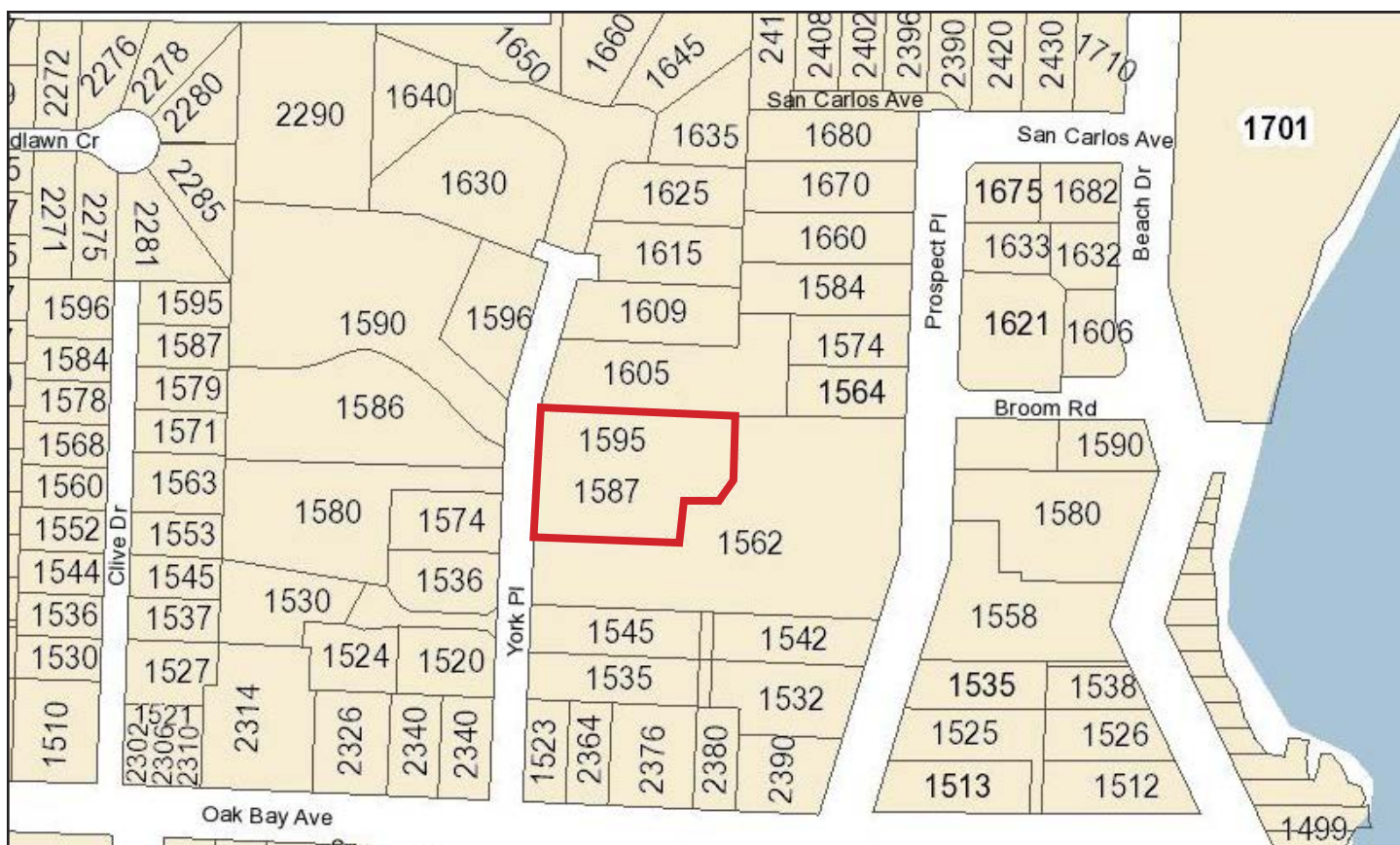


Fig. 1: Map of 1587-1595 York Place in the District of Oak Bay, Victoria, BC, with the property outlined in red. (Source: Oak Bay's GIS Mapping Service)

HISTORICAL CONTEXT

Situated on the land of the Coast Salish and the Lekwungen speaking peoples, the colonial history of the area dates back to 1843, with the establishment of Fort Victoria. In 1858, the area of Oak Bay was surveyed and subdivided into five sections, with allocated areas to four prominent individuals (John Tod, Joseph D. Pemberton, Isabella Ross and William Henry McNeill). Following this subdivision, the area slowly developed and evolved through the 19th century (Baird 1979, pp. 18-26). By the late 1890s, prominent architects Francis M. Rattenbury and John G. Tiarks jointly purchased 15 acres of waterfront property from the Pemberton estate (Stark 2003, p. 169) (Fig. 2).

From then, “over the next three decades, the area grew to host an array of carefully planned estate properties designed to retain a rural character of the area, with grand architect-designed homes” (DLA 2019, p. 2). Many of these properties are still extant today and are a part of the Prospect Heritage Conservation Area (Fig. 3), which is recognised for “its representation of the origins of the Oak Bay community in the late 19th century, the leafy suburban character of its evolved cultural landscape, and its mix of architecturally-significant and more modest residences” (DCD 2018, p. 7).

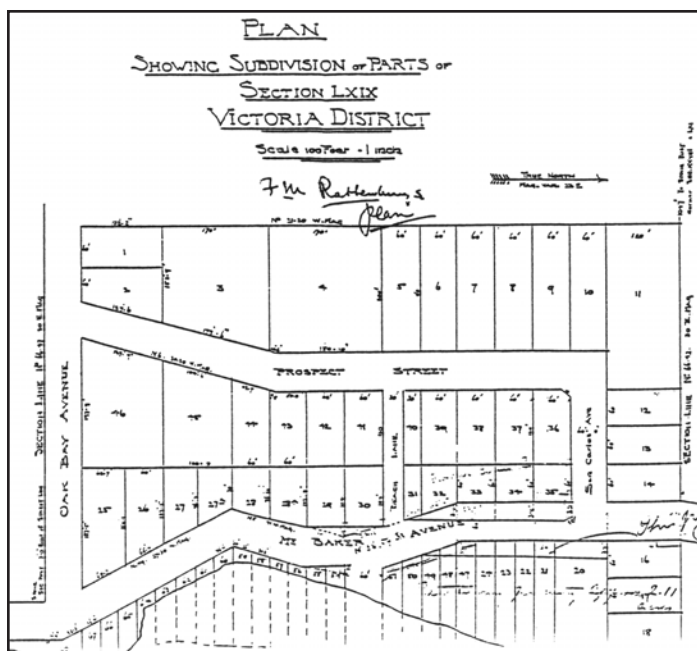


Fig. 2: “Plan Showing Subdivision of Parts of Section LXIX, Victoria District,” signed by F.M. Rattenbury. (Source: District of Oak Bay Archives)

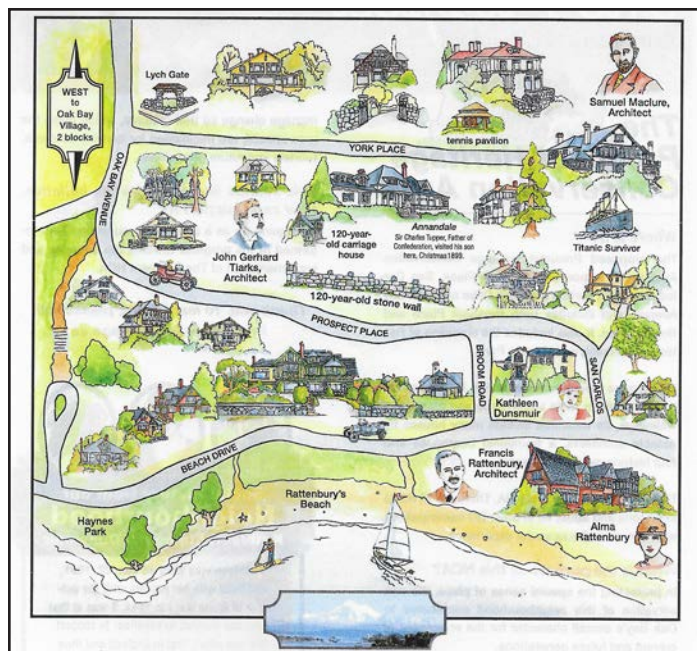


Fig. 3: “The Prospect” Map highlighting “Oak Bay’s first proposed Heritage Conservation Area.” (Source: Protect Oak Bay Heritage)

1587 York Place was one of two matching bungalows designed by John G. Tiarks in 1897 (Figs. 4 and 5). One was the subject house "Annandale for Sir Charles Hibbert Tupper (Minister of Justice for the Dominion Government and son of Sir Charles Tupper, Father of Confederation)...The second matching house was Garrison House, built for the Honourable Frederick Peters, former Premier and Attorney-General of Prince Edward Island" (Protect Oak Bay Heritage 2016). Unfortunately, Garrison House (which became Uppingham House in the 1920s) was lost between 1932 and 1933 (Figs. 6 and 7).

"ASCENDING A FLIGHT OF STEPS ON TO THE SPACIOUS VERANDAH, THE FRONT DOOR, WHICH HAS A LARGE PLATE GLASS PANEL, OPENS ON TO A PANELLED HALL WITH A LARGE, OPEN FIRE-PLACE."



Fig. 4 (above): Interior view of Annandale's historical front entrance, illustrating elements described in 1897, such as its front door with large plate glass panel and open fireplace. (Source: Binab)

Fig. 5 (right): Newspaper article about the matching bungalows designed by John G. Tiarks. Note its description of the front entry. (Source: *Victoria Daily Colonist*, December 28, 1897, p. 6)

HANDSOME RESIDENCES.

Beautiful Bungalows to Be Erected at Oak Bay for Sir C. H. Tupper and Hon. Fred. Peters.

Two more are to be added to the many handsome residences which adorn Victoria, Sir Charles Hibbert Tupper and Hon. F. Peters being about to acquire a piece of land, beautifully situated, on the Oak Bay road, not far from Mount Baker hotel, on which the building of two bungalows will be immediately commenced. This style of dwelling is becoming daily more popular here and Mr. J. Gerhard Tiarks, the architect of Hon. Edgar Dewdney's charming bungalow residence on Rockland avenue, Mr. W. G. le Poer-Trench's no less attractive bungalow at North Saanich and the Messrs. Weilers' bungalow on Dallas road, together with many others, has been commissioned to prepare the plans for these two new houses and to take charge of the work.

The plans show that each house covers a space of over one hundred feet by seventy feet on the ground. Ascending a flight of steps on to the spacious verandah, the front door, which has a large plate glass panel, opens on to a panelled hall with a large, open fire-place. The drawing-room and dining-room, each with large bay windows, are on the right and left of the hall, and can be thrown into it by the opening of folding doors, thirteen feet wide, thus, if required, making one room of fifty feet by twenty feet.

The library, with its alcoves, will be entirely in cedar, with cedar bookcases all round and a richly panelled ceiling. Behind the dining-room, that is between the dining-room and kitchen, there will be a sitting-room, the larders, sculleries, storerooms, etc., being at the back of this again. Four Tudor arches make a pleasing feature. Down the main hall are corridors and the kitchen passages, although on the main floor are entirely isolated from the dwelling and bedroom portions. There are five bedrooms, besides dressing rooms, bath rooms, etc., on the main floor, while on the roof are the servants' bed rooms, bath room, childrens' play room and cedar lined linen rooms.

A special feature about the houses is that during the winter one side of the verandah will be entirely enclosed with glazed sashes, thus converting the verandah into a comfortable winter promenade.

Both bungalows will be supplied with electric light and everything which can conduce to the convenience and comfort of their occupants.



Fig. 6a: View of the matching Tiarks bungalows, c. 1900. Garrison House is the one visible in the foreground and Annandale further back. (Source: City of Victoria Archives M00139)



Fig. 6b: An undated view of Garrison House from the south. This photograph has been mis-attributed to Annandale in the archival record, however, the location of the enclosed verandah and the v-shaped downspouts match Garrison House, particularly when compared to the above photograph and a Peters Family Photograph from 1908. (Source: BC Archives, Trio Coll. 98011-11, Box 11, Folder No. 2; Gen. Files Box 163, 97352)

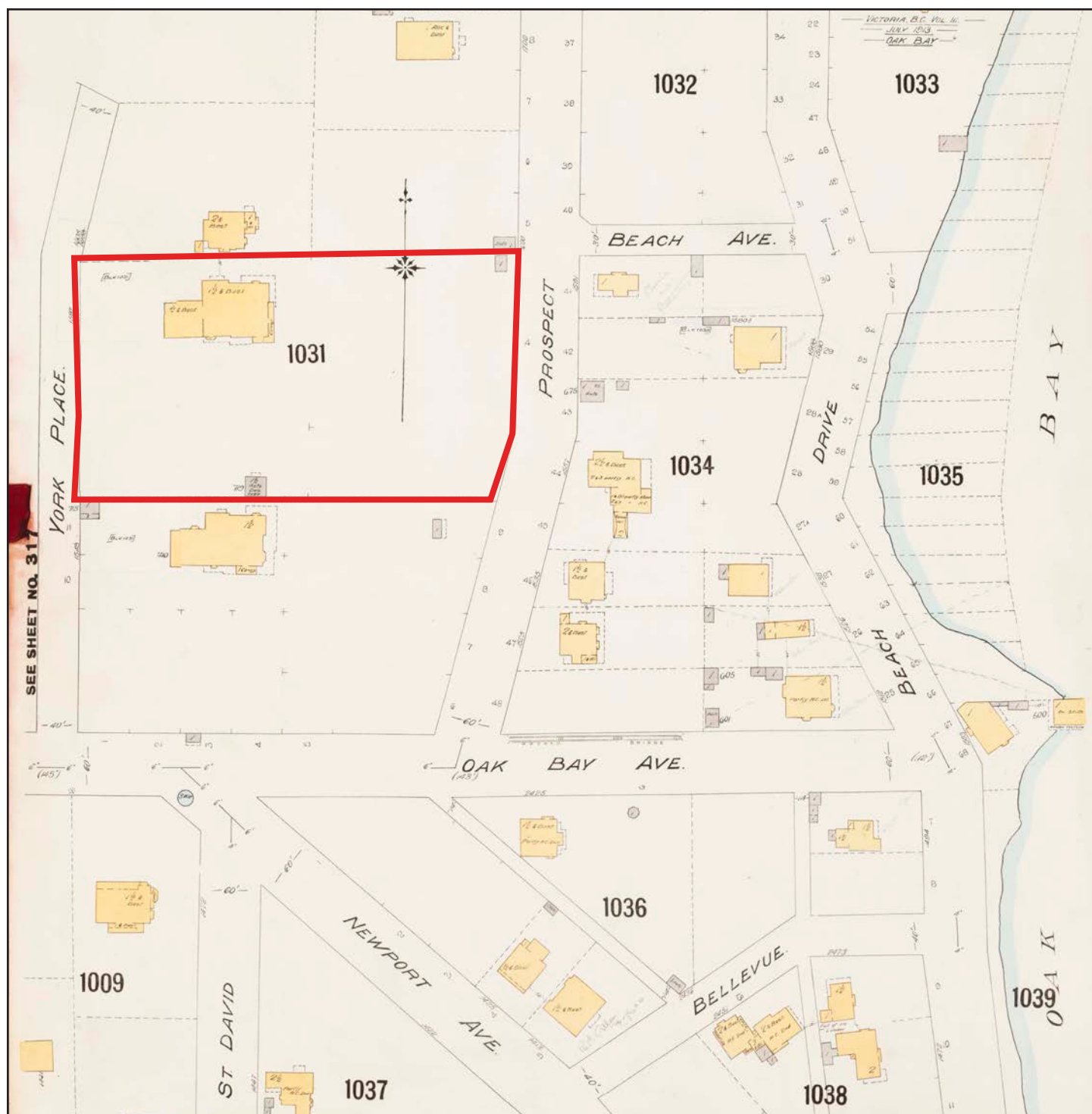


Fig. 7a: Fire Insurance Plan of Oak Bay, 1913. The original (larger) lot of 1587 York Place is outlined in red, with its matching bungalow next door, at 1543 York Place, located to the south. (Source: University of Victoria Libraries, Volume III, Sheet 318)

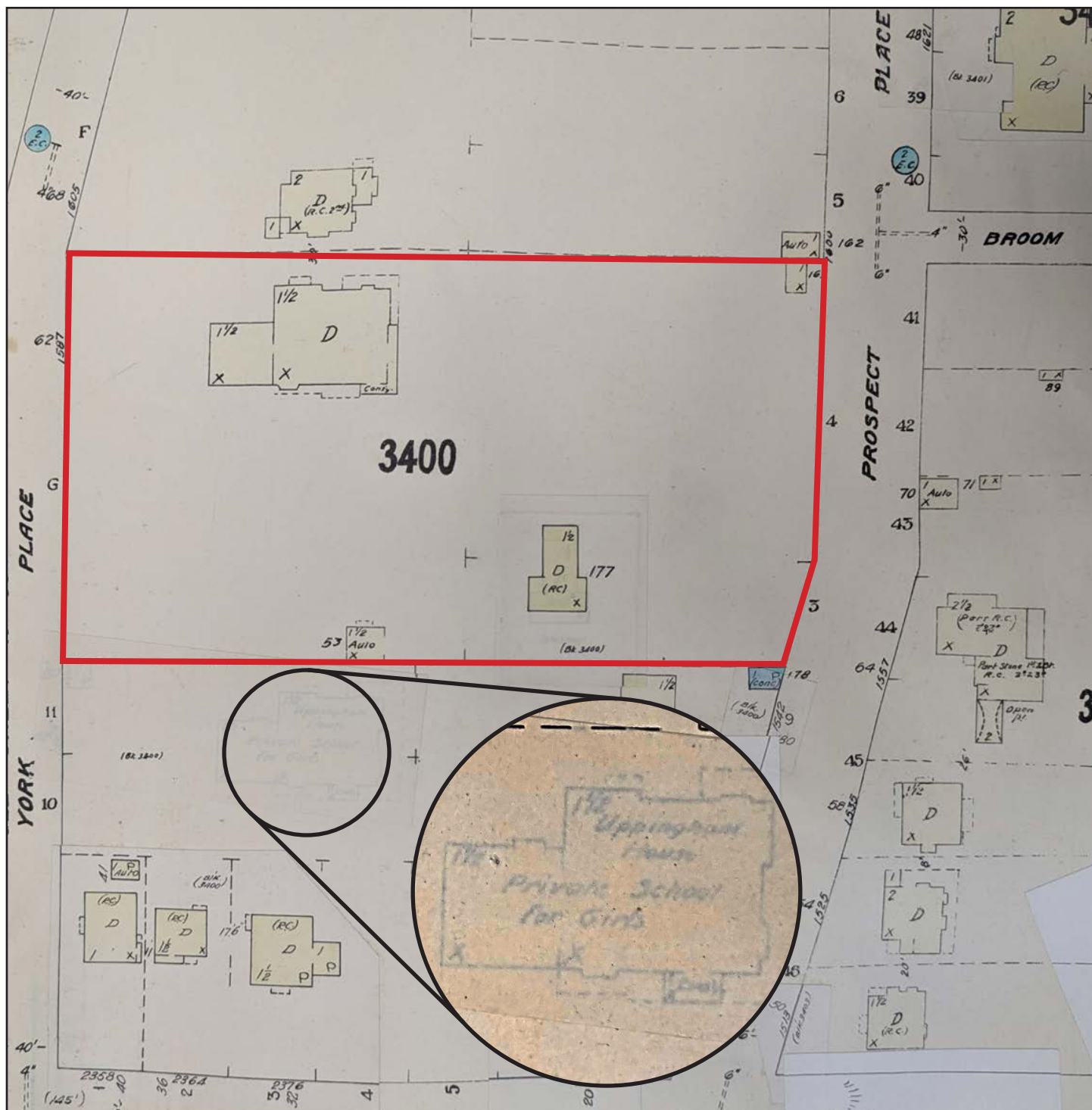


Fig. 7b: Fire Insurance Plan of Oak Bay, 1925, updated to 1941. 1587 York Place is outlined in red. Note the matching bungalow to the south is taped over with its label as "Uppingham House Private School for Girls" legible through it. (Source: Oak Bay Archives, Volume III, Sheet 340)

RESEARCH FINDINGS

The following tables are the consolidated summaries of the residents of 1587 York Place (Table 1a) and 1595 York Place (Table 1b), as determined from the available city directories (GVPL 1898 to 1999). Due to the more rural nature of Oak Bay, the late 19th/early 20th century record is somewhat incomplete with York

Place not captured until 1909. The secondary address for the property (1595 York Place) is visible on the District of Oak Bay GIS Map in Fig. 1 above, although it is not listed as an official address on BC Assessment. As outlined below, this secondary address appears in the available directory records beginning in 1958.

Table 1a: Consolidated List of Residents of 1587 York Place

Year(s)	Name(s)	Occupation (if listed)
1897-1900 (listed as simply a Resident of Oak Bay, 1901 onwards, he is listed as a Resident of Vancouver)	Tupper, Charles Hibbert, K.C.M.G, Q.C., M.P.	Lawyer
1900 – 1908 York Place not Captured in the Directories		
1909	York Place captured, but without numbers, so unclear which properties the individuals listed are residents at	
1910-1955 (listed as 1675 York Place 1910-1913; 1587 York Place 1914 onwards)	Robert Scott (died 1922) Mrs. Scott, Elizabeth M. Miss Scott, Margaret (in 1924)	Capitalist/Retired Widow Not Listed
1956 to 1957	Fellner, Walter (Fern)	Salesman, Canada Trust
1958 to 1968	Burnett, Harry K. (E. Norah)	Special Rep., Royal Trust/Retired late 1960s
1969	Occupied	
1970	Welling, James E. (Isabell)	Retired
1971 - 1972	Campeau, Andrew D.	Manager, Woodwards
1973 to 1974	Milo, Gerald E.	Not Listed
1975 to 1977	1587 York Place not listed	
1978 to 1979	Bewley, Joyce	Social Worker
1980	Directory Pages Missing	
1981 - 1984	Egels, Dave	Student
1985	Wickens, Jennifer	Not Listed
1986	Kenney, Janice	Student

1987 to 1988		No return	
1989		Heselgrave, Jill	Not Listed
1990 to 1991		Tweedie, Robert	Not Listed
1992 to 1993		Not verified	
1994 - 1996		Bassett, J.	Not Listed
Additional Residents	1995	Crouzat, K. (resident) Klinkhamer, S. (resident)	Not Listed
	1996	Winkenhower, Sara (resident) Klinkhamer, S (resident)	Not Listed
1997 to 1999		Vacant	N/A

Table 1b: Consolidated List of Residents of 1595 York Place

Year(s)	Name(s)	Occupation (if listed)
1957	1595 York Place Not Listed	
1958 (First appearance in the directories)	Vacant	
1959	Wardlaw, Mary L. Wardlaw, clare W.	Widow Clerk, BC Government
1961	Vacant	
1962 - 1968	Nicolle, Ella	Widow
1969	Occupied	
1970	Douglas, Doris	Widow
1971	Deans, S.	Student
1972 to 1974	Vacant	
1975 - 1979	Banks, John V. (Barbara)	Retired
1980	Directory Pages Missing	
1981 (Listed as 1595a York Place)	Fukushima, Sue	Not Listed
1981 to 1987	Cockayne, Ernest J. (N. Irene)	Professor
1988 to 1999	Cockayne, Irene Cockayne, Steven (1993 - 1996)	Not Listed Computer Scientist
Additional Residents	1988	Mc Mullan, Gary
	1994	Lewis, Greg Lewis, Mia
		Student Research Assistant, University of Victoria

From the above, one can appreciate the range of individuals who have called Annandale home. It is interesting noting the short-lived connection that Tupper had with the property. The house was definitely built for him, as confirmed by the 1897 newspaper article (Fig. 5 above); as well as in the Canadian Contract record: "J. Gerhard Tiarks, architect, has been commissioned to prepare plans for two bungalow dwellings to be erected by Sir Charles H. Tupper and Hon. F. Peters on the Oak Bay road" (Vol. 8 No. 49, Jan. 6, 1898, p. 2); and in the *Victoria Water Works Record of New Services*, with water connected by Tupper on Jan. 12, 1898 (City of Victoria Archives 1898, p. 53). However, it seems he moved to Vancouver shortly thereafter. By 1900, he is listed as a "Res[ident of] Vancouver City" and he then disappears from the Victoria Directories after 1901, instead living at his "Parkside" residence near Stanley Park. 1587 York Place may have been a holiday home for the Tuppers in the 1900s, but this is unclear in the historic record found.

Summary of Property Information

Neighbourhood: Prospect HCA, Oak Bay

Address & Postal Code: 1587 York Place, V8R 5X1

PID: 005-338-280

Legal Description: Lot 1; Plan VIP10717; Section 69; Victoria Land District; AMD Lot 1 (DD2728871)

Zoning: RS-2

Year of Completion: 1898

Designer: John G. Tiarks

Original Owner: Sir Charles Hibbert Tupper

TUPPER, SIR CHARLES HIBBERT
K.C.M.G., Q.C., M.P.,
Res. OAK BAY.

TUPPER, SIR CHARLES HIBBERT
K.C.M.G., Q.C., M.P.,
Res. VANCOUVER CITY.

Tupper, Sir Charles Hibbert, K.C.M.G.,
 K.C., M.P., of Tupper, Peters & Gil-
 mour, res. "Parkside," Barclay, cor.
 Chilco.

Figs. 8a to 8c: Directory Listings showing Tupper's resident status from Victoria 1899 (top), Victoria 1900 (middle) and Vancouver 1901 (bottom). (Source: VPL BCCD)



Fig. 9: 1891 Family portrait of Sir Charles Hibbert Tupper with his son and father, Sir Charles Tupper (seated). (Source: Library and Archives Canada a027227)

It is worth spotlighting the longest residing family of the house, the Scott Family, who lived there for nearly half a century. As outlined in his obituary, the entrepreneurial Robert Scott (Fig. 10) moved from Manitoba to Victoria with his wife, Elizabeth Scott (née Findlay) and their daughter Margaret (Fig. 11) in 1907. Listed as a "capitalist" in the 1908 BC Directory, it states his house was on "Prospect Rd" (VPL). This is likely referring to Annandale, but simply acknowledging its historical front facing Prospect Place (Fig. 12). It is worth highlighting that 1587 York Place is known as Annandale because of Scott, as an homage to his hometown of Annan in Scotland, where he was born (Figs. 13 and 14).

Fig. 10: Portrait of Robert Scott, 1902. (Source: Oak Bay Archives PR 223 1 01, courtesy of Brian Crane)

Scott Robert capitalist h Prospect rd

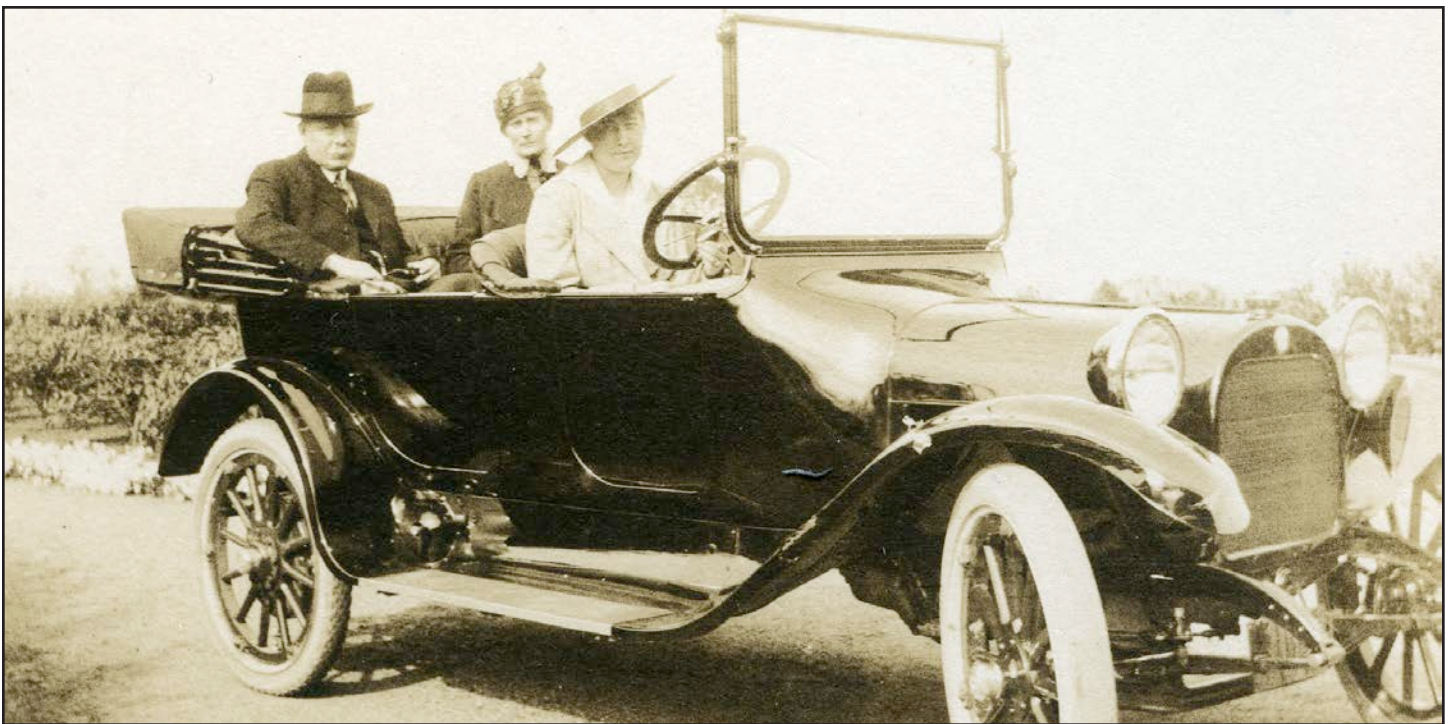


Fig. 11: Photograph of the Scott Family, c. early 1920s. (Source: Oak Bay Archives PR 223 1 07, courtesy of Brian Crane)



Fig. 12 (above): Historical photograph showing Robert and Elizabeth Scott in front of Annandale, c. 1910s. (Source: Oak Bay Archives PR 223 1 08, courtesy of Brian Crane)

Fig. 13 (below): Historical photograph showing the house and its York Place wall with one of the Annandale incised caps visible on the right. (Source: Oak Bay Archives PR 223 1 02, courtesy of Brian Crane)

Fig. 14 (right): Newspaper article discussing the death and legacy of Robert Scott. (Source: *Victoria Daily Times*, March 1, 1922, p. 2)

OWNER OF SCOTT BUILDING DIES

Late Robert Scott Was Pioneer in Creamery Business

Robert Scott, a prominent owner of real estate in Victoria and a pioneer in the creamery business in Western Canada, died this morning at his home, 1587 York Place, Oak Bay.

The late Mr. Scott was born in Annan, Dumfriesshire, Scotland, on February 22, 1851. While still a young man he came out to America and after a brief stay in New York was attracted to Canada where for many years he took an active part in the pioneer life of the North-west. In 1875 he commenced fur-trading operations with much success, and later owned two large stores, one at Shoal Lake, Man., and the other at Hamiota, Man.

Pioneer Creamery Man.

A pioneer in the creamery business, Mr. Scott erected the first creamery in the North-west at Shoal Lake, bringing expert butter-makers from Sweden for this purpose. This venture met with much success, and right up till last season butter from this creamery secured prizes at exhibitions throughout the Western Provinces. Mr. Scott inaugurated the system of shipping butter in sealed tins, and was the first to send butter by this method to the Yukon in its early days, and to Japan.

After his retirement from active business he came to Victoria in January, 1907, and has lived here ever since. He has been closely identified with real estate matters in Victoria, and was the builder and owner of the Scott Block at the corner of Hillside Avenue and Douglas Street and of other valuable business and residential properties in the City.

The late Mr. Scott is survived by his widow, residing in Victoria and one daughter, Miss Margaret Scott, who is on her way home from Los Angeles, Cal., where she has been spending the Winter. The remains are reposing at the B. C. Funeral Chapel and funeral announcements will be made later.



Scott had successfully built various businesses in Manitoba, in particular helping to establish and develop the Shoal Lake area (Dickie 2016) and even built one of the first creameries in Manitoba, introducing the practice of shipping butter in sealed tins for preservation and worldwide distribution (Dickie, n.d. and Fig. 14 above). Robert Scott continued with his entrepreneurial spirit in Victoria, continuing to buy and build. Two buildings, 705 Johnson Street (Parks Canada 2005) and 2659 Douglas Street (Fig. 16), both known as Scott Building, are part of his legacy and contribution to Victoria. Closer to home, Willows Park was also Scott's vision, having sold the land to the District of Oak Bay for the explicit purpose of establishing a public park for the community (Fig. 15).

Fig. 15: Newspaper article discussing his sale of land to the District of Oak Bay for a public park. (Source: *Daily Colonist*, April 30, 1913, p. 19)



Fig. 16: 1924 postcard showing the Scott Building located at the corner of Douglas and Hillside. (Source: BC Postcards)

SCOTT—Passed away peacefully at her residence, 1587 York Place, on March 15, 1955, Elizabeth Marshall Scott, aged 84 years; born in Ontario, and a resident of Victoria since 1906. Widow of the late Robert Scott, she leaves one daughter, Mrs. Harry Crane, of 1561 York Place; one grandson, Brian, in Karachi, Pakistan; one sister, Mrs. A. Emmett, of Edmonton; one brother, Fred Findlay, in Vancouver, B.C. Funeral services will be held in McCall Bros' Floral Funeral Chapel on Thursday morning, March 17, at 11 a.m., Rev. Dr. E. Foreman officiating. Interment in Ross Bay Cemetery. No flowers by request.

Fig. 17: Newspaper article discussing the death of Elizabeth Scott. (Source: Daily Colonist, March 15, 1955, p. 16)

Robert Scott died in the house in 1922, but his family continued to live there until Elizabeth's death in 1955 (Fig. 17). From 1931 to 1955, their daughter, Margaret, also lived in an additional structure on the large lot (visible in Fig. 7b above), with her husband Harry Crane and their son, Brian (Figs. 18 and 19).

This Tudor Revival structure was lost many years ago, but it is interesting to note this legacy of additional housing on the large lot. These research findings directly inform the updates made to Annandale's Statement of Significance, outlined in the following section.

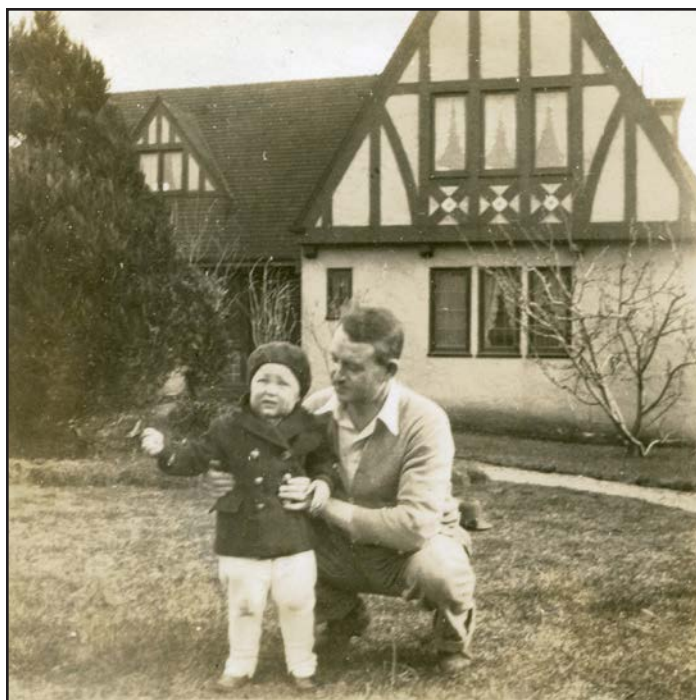


Fig. 18: 1930s photograph of Harry Crane and his son Brian outside their house located on Annandale's large lot. (Source: Oak Bay Archives, PR 223 1 35 16A, courtesy of Brian Crane)



Fig. 19: 1930s photograph of Brian Crane with Annandale's west end visible behind him. (Source: Oak Bay Archives, PR 223 1 35 16A, courtesy of Brian Crane)

STATEMENT OF SIGNIFICANCE

The following is an updated Statement of Significance for Annandale located at 1587 York Place. It is based on and updated from the original statement available from the District of Oak Bay.

DESCRIPTION OF HISTORIC PLACE

Situated on the land of the traditional territory of the Coast Salish and Lekwungen speaking peoples, Annandale is a large, one-and-a-half-storey wood clad bungalow with prominent brick corbelled chimneys, a wrap-around verandah, and multiple dormers in its hipped roof. It is set back on the property and surrounded by a stone wall that has “Annandale” carved in two of its granite gate-piers. It is located on the east side of York Place in the middle of Oak Bay’s Prospect Heritage Conservation Area.

HERITAGE VALUE OF HISTORIC PLACE

Annandale has aesthetic value as a representation of the work of prominent architect John Gerhard Tiarks; historical and cultural value through its age and contribution in the development of the area, as well as through its initial connection to the Tupper Family and the Scott Family; and has social value as a residence that provided housing for a wide range of individuals and as a highly valued heritage asset in the community that played a role in the establishment of Oak Bay’s first Heritage Conservation Area.

Annandale was designed by Tiarks in 1897 for Sir Charles Hibbert Tupper and built in 1898 as one of a pair of twin neighbouring bungalows. The second residence, located on the large lot immediately south of Annandale, was known as “Garrison House.” It was built for the Honourable Frederick Peters, former Premier of Prince Edward Island. He was a barrister and partner with his Annandale neighbour in their firms Tupper, Peters & Gilmour in Vancouver and Tupper, Peters & Potts in Victoria. Garrison House was lost between 1932 and 1933.

The surviving twin bungalow, Annandale, is one of many houses designed by Tiarks in his short life as an architect in the region. He designed and built numerous commercial and residential buildings before dying tragically young at the age of 34 in a bicycle accident. Trained in England, he arrived in British Columbia in the late 19th century during the economic boom following the arrival of the trans-continental railway. Tiarks eschewed elaborate Victorian details. Instead, hallmarks of his style were shallow Tudor arches, cedar panelling, broad verandahs and the application of vertical boards on drop siding; all of which are evident in Annandale and contribute to its aesthetic value.

Tiarks' connection to the property and its neighbourhood at large, also contributes to the house's historical and cultural value. In the late 1890s, Tiarks and his architect partner F.M. Rattenbury, purchased and subdivided a substantial portion of land extending from Oak Bay Avenue northwards to present-day San Carlos Avenue and eastwards to present-day Beach Drive. The whole parcel was acquired from the estate of the late Joseph D. Pemberton, former Surveyor General of the colony of Vancouver Island. Over the next decade, the partners began developing the area and encouraging the construction of quality homes on the land; which included Annandale as one of the first developments in the area. Many of these grand houses survive today and are a part of the Prospect Heritage Conservation Area (HCA).

The house's historical value is also embodied in its connection to its original proprietor, Sir Charles Hibbert Tupper, son of Sir Charles Tupper, a Father of Confederation. After many years in politics, in 1897, Charles Hibbert Tupper moved to BC with his family. It appears he was only resident in Victoria for a couple of years. Instead, he settled in his Vancouver residence "Parkside" located near Stanley Park at 2050 Barclay Street; built around the same time as Annandale (designed by Cornelius Soule and Samuel Maclure). It appears the Tupper Family potentially used Annandale as a holiday home through the 1900s, although the historic record is somewhat unclear.

In the late 1900s, the Scott Family (Robert Scott, his wife, Elizabeth, and their daughter, Margaret) took up ownership and residence of Annandale until the mid-1950s. Robert Scott named the house "Annandale" after his hometown Annan in Scotland. He was a successful entrepreneur in Manitoba, who also contributed to Victoria in his twilight years, building commercial and residential structures and facilitating the establishment of a public park in Oak Bay.

After the Scott Family's multiple decades of residency, the house was subdivided to accommodate additional residents. In 1958, the additional 1595 York Place address appears in the Directories. During this time, Annandale was home to a wide range of individuals (civil servants, a Professor, a salesman, retirees, students and widows, among others). This diversity connects to the house's social value. The fact that such a wide range and large number of individuals called Annandale home is an important part of its significance. This place also has social value for being part of the catalyst for Oak Bay establishing its first HCA to celebrate and protect homes such as this.

CHARACTER DEFINING ELEMENTS

Key elements that define the heritage character of Annandale include:

- *view to ocean and Mount Baker*
- *form, scale and massing*
- *steeply-pitched hipped roof with gables and dormers*
- *wood frame construction including bevelled drop siding, corner boards, vertical boards over drop siding; heavy moulding*
- *style details, such as picturesque silhouette; prominent corbelled brick chimneys, deep eaves, box bay windows*
- *exterior architectural elements, such as broad verandah with removable glazed sashes, turned balusters, and applied moulding; window horns; pedimented window frames; glazed front door with transom and sidelights*
- *fenestration, and window types, such as box, and angled bays; double-hung wood sashes; casements*
- *original interior features, such as its door furniture; fireplaces; tiles; Tudor arches; and woodwork*
- *landscape features, such as stone wall with two entrances flanked by granite piers with "Annandale" incised in the caps and protective plinth blocks, with original cast iron gates*

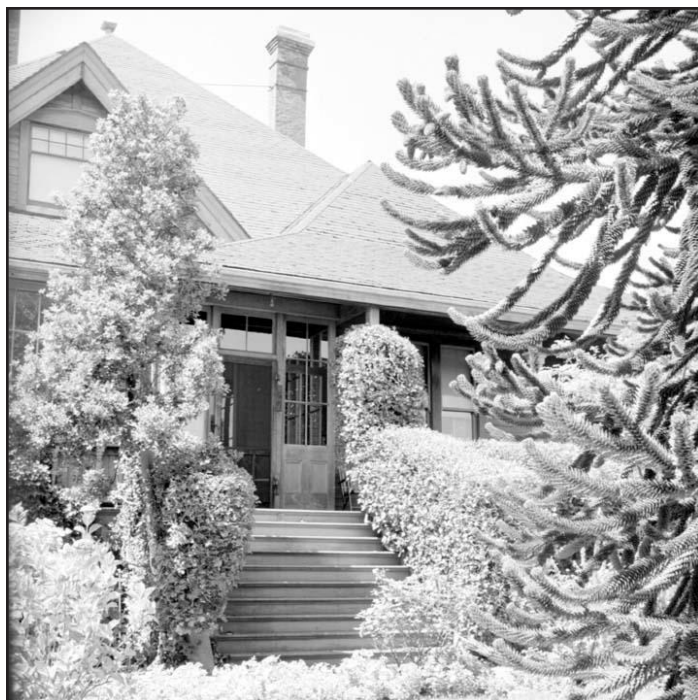
PHOTOGRAPHS

The following section consolidates additional historical photographs of the property matched with more modern views, for comparison (Figs. 20 to 23).

It also provides views of each elevation and facade, for reference and illustration of Annandale in its pre-revitalization context (Figs. 24 to 28).



Figs. 20 and 21: View of Annandale from the south, c. 1953 (above) compared to 2023 (below). (Sources: City of Victoria Archives, M02800 and Cummer)



Figs. 22 and 23: View of Annandale from the east, c. 1953 (left) compared to 2023 (right), showing the historical front entrance. (Source: City of Victoria Archives, M02801 and Cummer)



Fig. 24: Annandale from the street, as viewed through its stone wall entrance with granite piers with Annandale incised in the cap (on the right), 2023. (Source: Cummer)



Fig. 25: Annandale from the west, 2023. This is technically the “back” of the property. (Source: Cummer)



Fig. 26: Annandale from the north, 2023. (Source: Cummer)



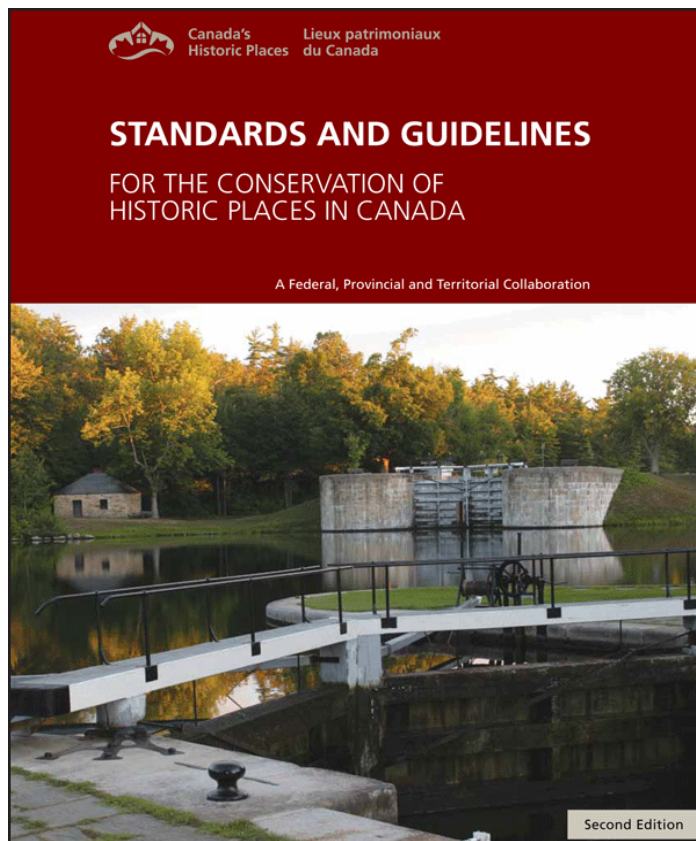
Fig. 27: Annandale from the east, 2023. (Source: Cummer)



Fig. 28: Annandale from the south, 2023. (Source: Cummer)

CONSERVATION GUIDELINES

The *Standards and Guidelines for the Conservation of Historic Places in Canada (Second Edition)* (Parks Canada, 2010) is the pan-Canadian set of conservation principles that guides all conservation work in Canada and is the foundation of the conservation approach being employed with regards to 1587 York Place in Oak Bay, BC. As defined by the Standards and Guidelines, the work proposed for Annandale includes aspects of preservation, restoration and rehabilitation, defined below. The following Standards should be followed when carrying out any conservation work to an historic place (see Table 2 below), including the work proposed for Annandale. Since Annandale is also located within a Heritage Conservation Area, *The Prospect Heritage Conservation Area Proposed Guidelines* (Heritageworks 2020) are also being referenced and adhered to as much as possible.



Standards and Guidelines for the Conservation of Historic Places in Canada. (Source: Parks Canada)

Preservation: The action or process of **protecting, maintaining** and/or **stabilizing** the **existing** materials, form and integrity of an historic place or of an individual component, while protecting its heritage value.

Restoration: The action or process of accurately **revealing, recovering** or **representing** the state of a historic place or of an individual component, as it appeared at a **particular period** in its history, while protecting its heritage value.

Rehabilitation: The action or process of making possible a continuing or compatible **contemporary use** of an historic place or of an individual component, through **repair, alterations**, and/or **additions**, while protecting its heritage value.

(Parks Canada 2010, p. 255)

General Standards for Preservation, Rehabilitation and Restoration	
Standard	Description
1	Conserve the <i>heritage value</i> of an <i>historic place</i> . Do not remove, replace or substantially alter its intact or repairable <i>character-defining elements</i> . Do not move a part of an historic place if its current location is a character-defining element .
2	Conserve changes to an <i>historic place</i> that, over time, have become <i>character-defining elements</i> in their own right.
3	Conserve <i>heritage value</i> by adopting an approach calling for minimal intervention .
4	Recognize each <i>historic place</i> as a physical record of its time, place and use . Do not create a false sense of historical development by adding elements from other historic places or other properties or by combining features of the same property that never coexisted.
5	Find a use for an <i>historic place</i> that requires minimal or no change to its character-defining elements .
6	Protect and , if necessary, stabilize an <i>historic place</i> until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place . Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.
7	Evaluate the existing condition of <i>character-defining elements</i> to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
8	Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements , where there are surviving <i>prototypes</i> .
9	Make any intervention needed to preserve <i>character-defining elements</i> physically and visually compatible with the <i>historic place</i> and identifiable on close inspection. Document any intervention for future reference.

Additional Standards Relating to Rehabilitation	
Standard	Description
10	Repair rather than replace <i>character-defining elements</i> . Where character-defining elements are too severely deteriorated to repair , and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the <i>historic place</i> .
11	Conserve the <i>heritage value</i> and <i>character-defining elements</i> when creating any new additions to an <i>historic place</i> or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the <i>historic place</i> .
12	Create any new additions or related new construction so that the essential form and integrity of an <i>historic place</i> will not be impaired if the new work is removed in the future.

Additional Standards Relating to Restoration	
Standard	Description
13	Repair rather than replace <i>character-defining elements</i> from the <i>restoration</i> period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14	Replace missing features from the <i>restoration</i> period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence .

Table 2: Summary and definitions of the different conservation Standards. (Source: Parks Canada 2010e, pp. 22-23; with author bolding for clarity and emphasis)

CONSERVATION OBJECTIVES

Annandale will be preserved, restored and rehabilitated as part of a Heritage Revitalization Agreement (HRA), which includes rotating the house within its lot, reverting it back to a Single-Family Dwelling and external subdivision of the larger lot (Figs. 29 and 30). The conservation of Annandale is focused on the preservation of the heritage house, including its Character-Defining Elements; restoration of certain elements, such as its second front chimney and removing later-addition skylights and dormers; and rehabilitation of the house to streamline its rear

configuration and extend its physical life.

This HRA will revitalize the house in the streetscape, allowing its historical front to be viewed from the street once more, while also providing much-needed additional housing to the neighbourhood on its large lot. The following table summarizes the specific elements of Annandale that are to be preserved, restored and rehabilitated (Table 3). Overall, the proposed changes provide an opportunity to revitalize a significant heritage building, which is currently heavily deteriorated, as will be addressed in greater detail below.



Fig. 29: Proposed updated view of the reoriented and revitalized 1587 York Place, as will be visible from the street. (Source: BDM3d Architectural Visualization)

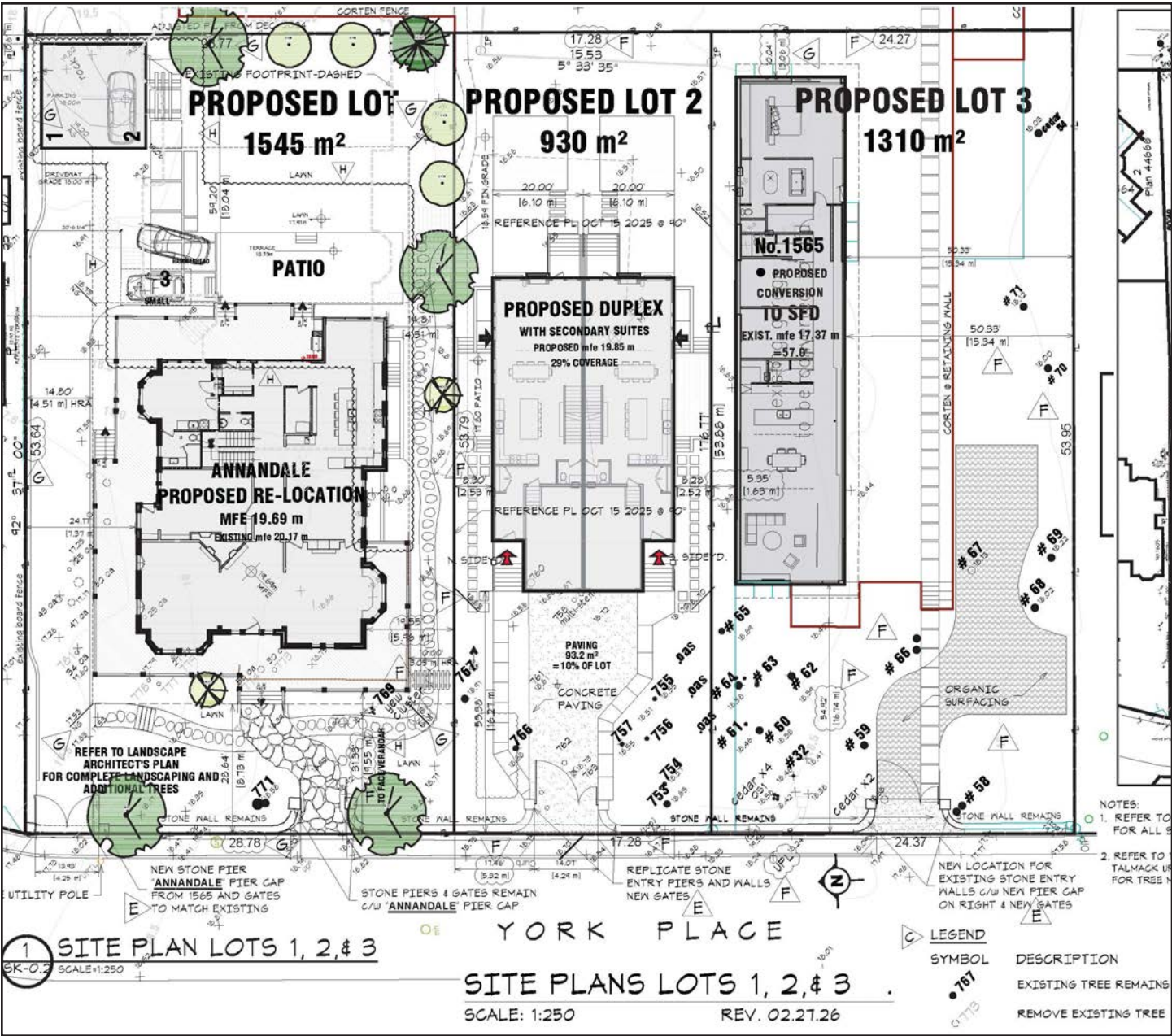


Fig. 30: Site plan of the revitalized site showing the reoriented Annandale and the subdivided lots. (Source: Zebra Design)

Table 3: List of Elements of Annandale to be preserved, restored and rehabilitated

Preserved	Restored	Rehabilitated
Residential use with preserved internal configuration of the original front four rooms that are to be heritage designated	Single-Family Dwelling (SFD) use with staff/in-law quarters included	Some internal changes at the rear and upstairs to address the new rear configuration and to facilitate more comfortable modern living
Overall form of the steeply-pitched hipped roof with gables and dormers	Removing the mid-century skylights and shed dormers	New roof, overall, with more sympathetic dormers replacing the mid-century additions
Form and detailing of the surviving front chimney	Second front chimney to be rebuilt and restored using salvaged bricks	Chimney masonry, as needed, following relocation
Wood frame construction, style details and exterior architectural elements	Rebuilding and restoring the front entry staircase	New foundation and drainage system as well as other updating, bringing the building up to code
Fenestration, in particular the dimensions, materials and style of the original wood windows, with those at the front being preserved, as they are, where possible	Reverting the wrap-around verandah to its original configuration, without the enclosure, and restoring its detailing, including the numerous balusters that have fallen off	Window design unification for the mid-century installations, to better match and reflect the original window look and design, in particular the decorative horn
Landscape features, including the stone wall with engraved piers	Restoring cast-iron gates to Annandale's wall and cleaning/repainting stonework, as needed	New car opening in northern section of the stone wall and reuniting the Annandale cap with the Annandale lot

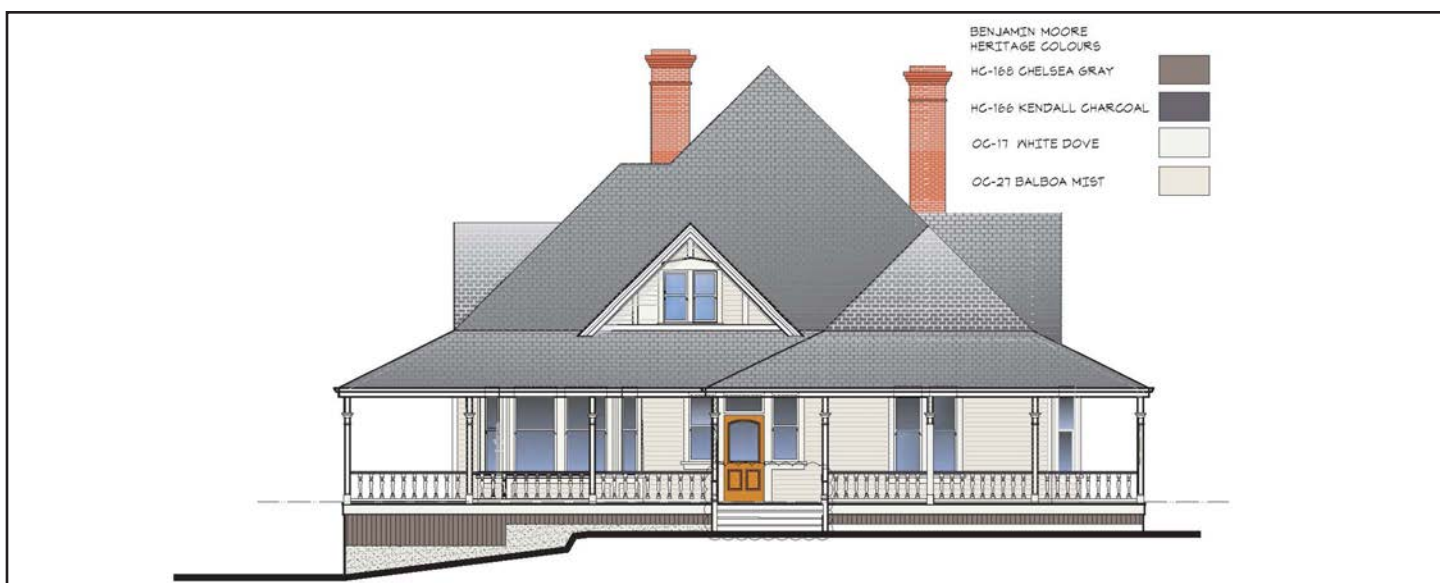


Fig. 31: Proposed materials and colours for the restoration of 1587 York Place. (Source: Zebra Design)

PROPOSED ALTERATIONS

The proposed alterations to the property involve reorienting the building, reverting the house back to a Single-Family Dwelling and subdividing the larger lot to provide much-needed additional housing to the area. Although substantial, the proposed changes are considered a reasonable intervention given the site conditions. In particular: its already altered context, its heavily deteriorated condition, its large lot size and the modern needs of residents. While relocating and reorienting a heritage building should never be embarked upon lightly, the current circumstances of Annandale lend itself to this dramatic intervention. When Annandale was first built, it was on an even larger lot than it currently occupies and there was little else surrounding it (see Figs. 4 and 7 above). As a result, its orientation towards Prospect Place, despite being a York Place address, was less significant.

EVALUATION

PROPERTY ADDRESS

No. 1587-95 Street YORK PLACE

A. ARCHITECTURE

Maximum: 40

	E	VG	G	F/P
1. STYLE / TYPE	15	8	4	0
BRITISH / INDIA TYPE				
BUNGALOW - 10th pair				
2. DESIGN	15	8	4	0
additions & driveway				
badly added				
3. INTEGRITY / ALTERATIONS / CONDITION	0	-5	-10	-20
screwed but in good shape				
4. ARCHITECT / DESIGNER	15	8	4	0
Tunks				
5. AGE	5	2	1	0
1977-98				

B. HISTORICAL SIGNIFICANCE

Maximum: 20

1. PERSONNAGES / EVENTS	10	5	2	0
Sir John Tupper				
2. HISTORICAL CONTEXT	10	5	2	0
Aerial context of				
dist of Oak Bay				

C. ENVIRONMENT

Maximum: 40

1. LANDSCAPE / SETTING	15	8	4	0
deteriorated				
2. CONTINUITY	15	8	4	0
estate character &				
stone walls complement street				
3. LANDMARK	10	5	2	0
none				

SCORE:

ARCHITECTURE

22

HISTORICAL SIGNIFICANCE

20

ENVIRONMENT

19

TOTAL =

61

GROUP:

A

B

C

D

COMMENTS

YORK PLACE-PROSPECT PLACE ARCHITECTURAL SURVEY / OAK BAY RESIDENTS GROUP

MJA CONSULTING SERVICES LTD., VICTORIA, B.C. APRIL 1986

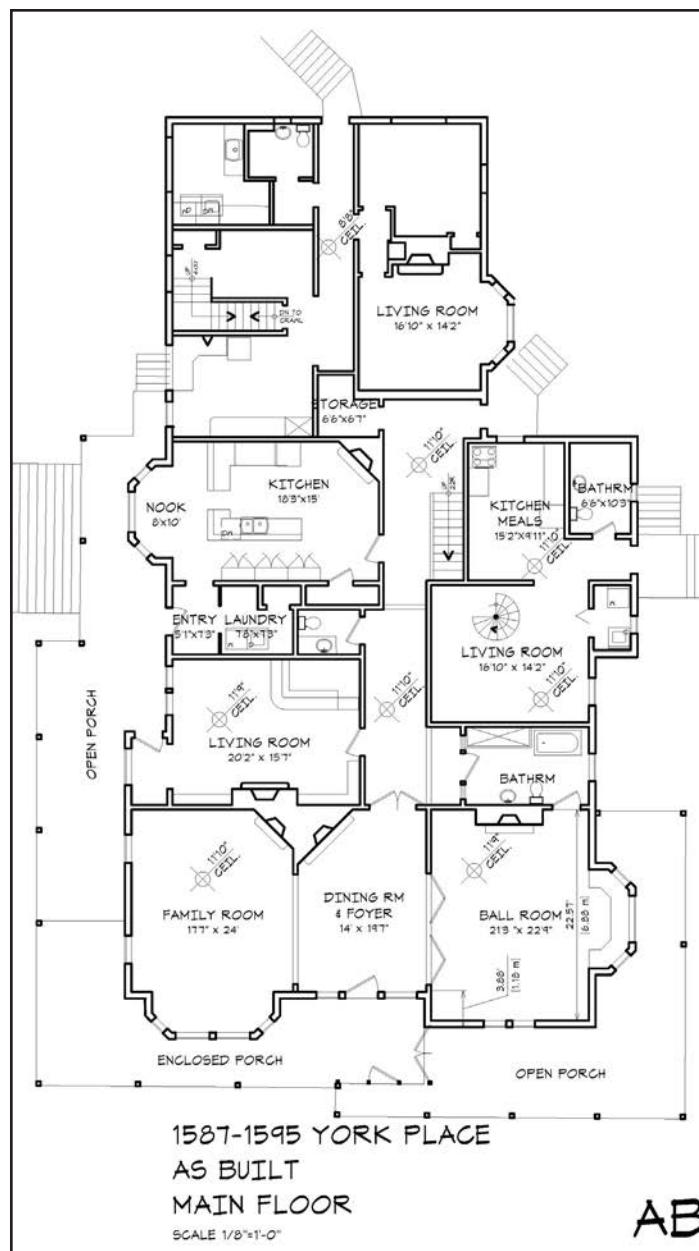
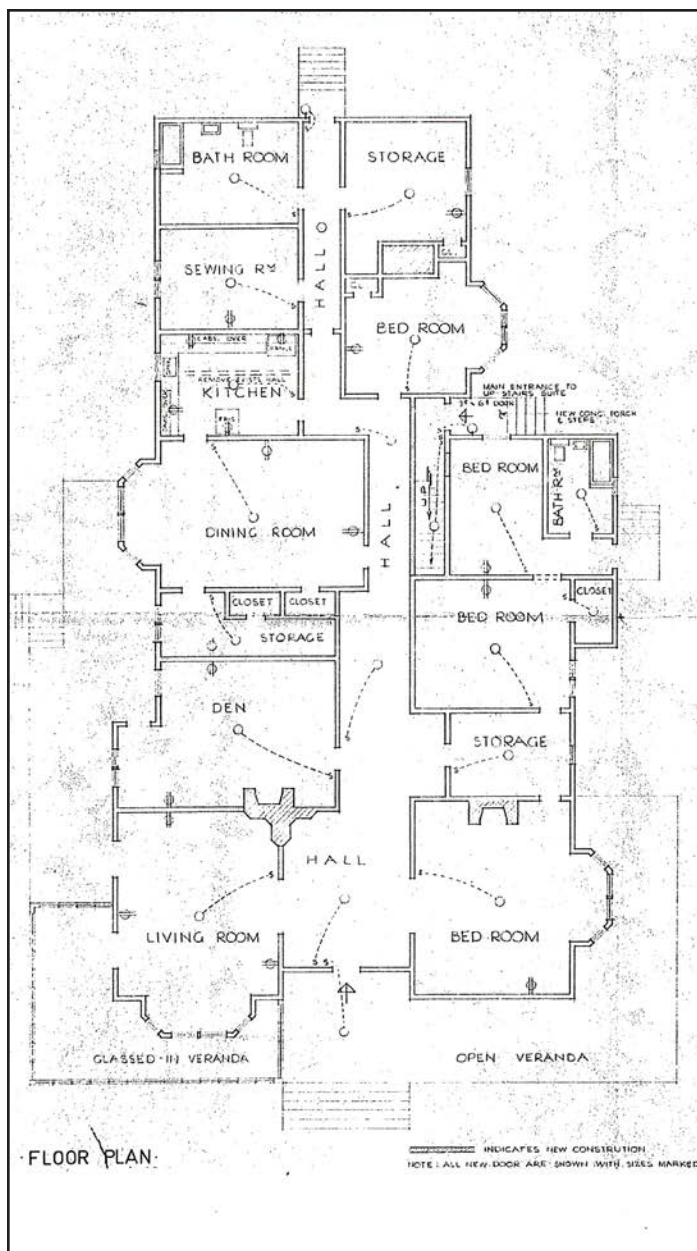
Fig. 32: Heritage evaluation of 1587 York Place from April 1986, noting its alterations. (Source: Hallmark Heritage Society Archives)

Today, however, with its reduced lot size and as the neighbourhood has grown up around it, its front entrance being at the back of its lot is odd and something that will be rectified in reorienting the building towards its associated street. This reorientation will have the most intact portion of the

house, its historical front, be more prominent and visible for all to enjoy. While it would have been preferable to conserve its entire footprint, the part to be removed is the more altered section of the house, which has experienced the most amount of change and loss of original materials (Figs. 32 to 34).

Over its many years, the rear wing of Annandale underwent the most amount of change, with additional walls, staircases and rooms added and original materials removed. These internal changes are distinctly

discernible in comparing a 1950s floor plan to a 2020s floor plan (Figs. 34); particularly when cross-referenced to the 1897 newspaper description that describes yet another configuration (Fig. 5 above).



Figs. 33 and 34: (Left) "Proposed Alterations & Additions for 1587 York Place, Victoria, BC, March 1958." (Right) Proposed Main Floor subdivision of 1587 York Place, 2022. (Sources: District of Oak Bay and Zebra Design)

As for subdividing the larger lot, subdivision in many ways is a key part of the history and evolution of Oak Bay and the Prospect HCA, specifically. Historically, in the early days of the colony, this area was one large lot owned by Joseph D. Pemberton, Section LXIX. When Tiarks and Rattenbury purchased part of Section LXIX, the area was subdivided into 38 lots (Fig. 2 above). Today, however, the Tiarks and Rattenbury area has already been further subdivided into 47 lots and counting (Fig. 35).

As acknowledged in the Prospect HCA Guidelines, this has not detracted from the area’s heritage significance, but has instead enhanced it. It has resulted in a neighbourhood boasting a range of architectural styles, representing different time periods and architects, with both historical and contemporary buildings making up the streetscape (Heritageworks 2020, p. 10). The proposed additional lots allow for a new chapter to be written in the story of this area’s subdivision for the benefit of more residents to come.

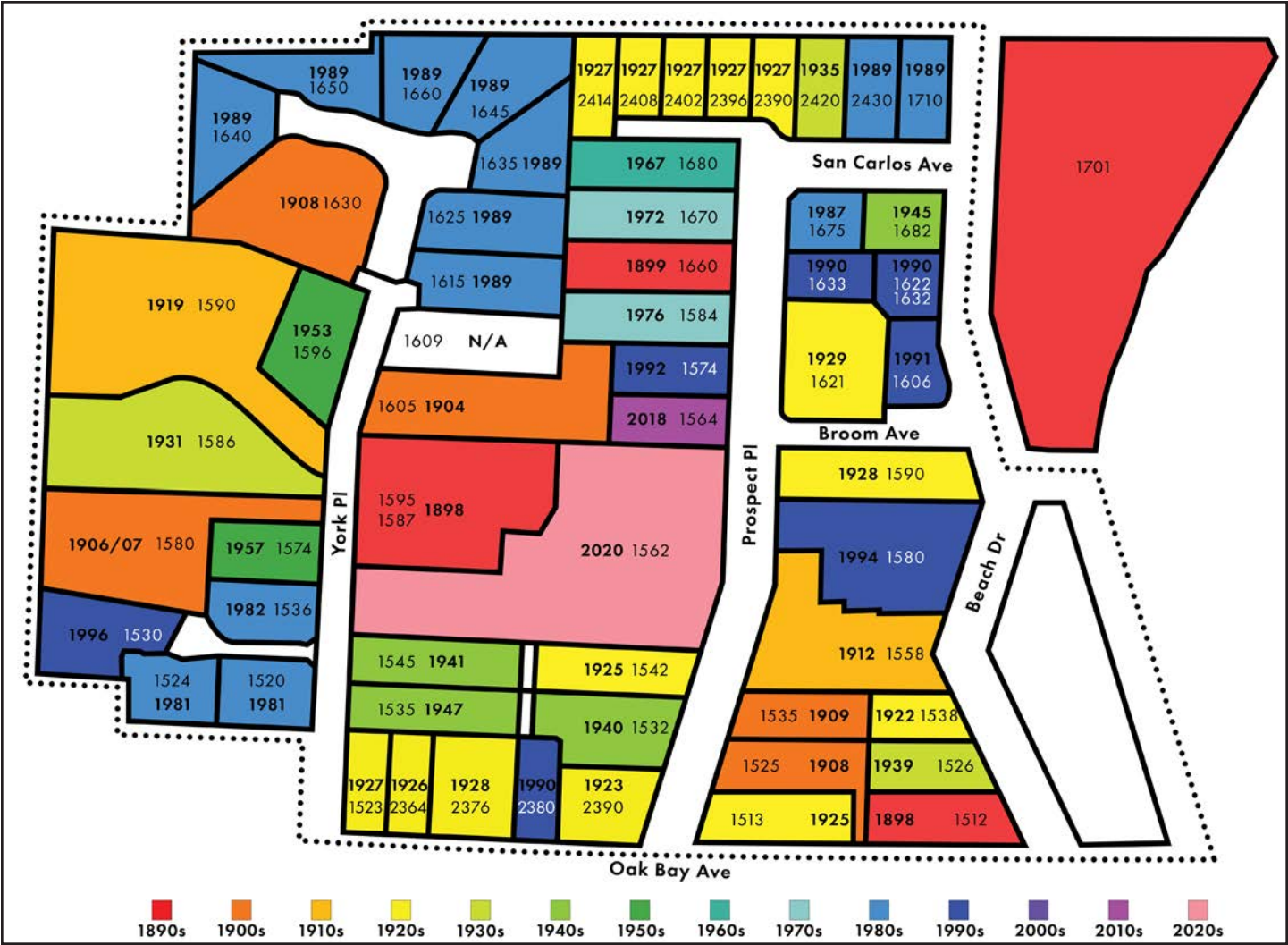


Fig. 35: Map of the Prospect HCA showing the range of construction dates and the various subdivisions that have already taken place in the area. (Source: CHC based on BC Assessment Data cross referenced with the HCA Schedule)

CONDITION ASSESSMENT

Overall, the exterior of Annandale at 1587 York Place appears to be in fair to poor condition. Cummer Heritage Consulting (CHC) conducted a site review of the property in January 2023, with a follow-up in September 2024, and Herold Engineering Limited (HEL) conducted a Visual Building Condition Assessment in May 2023. Their conclusions and recommendations highlighted the following (Figs. 36). Please note that all of these assessments involved an exterior visual review of the property only; no testing or material samples were taken.



Fig. 36a: View of 1587 York Place, May 2023. (Source: Bellant)

Deferred maintenance is taking its toll on the building. In the course of our visual condition assessment HEL identified a number of areas of concern with the fabric of the building

- The Asphalt roof shingles and flashings are life expired and require immediate replacement to control the on-going water leakage into the structure.
- Exterior cladding, fascias and trims are in poor decorative order, targeted repairs to rehabilitate and conserve the exterior of the building are strongly recommended.
- The veranda enclosure secondary glazing and guardrails are in poor condition and now present a life safety risk.
- Inadequate connectivity of framing members at the crawlspace and foundation level pose a risk to the overall seismic performance of the building.
- There is a high likelihood that there is concealed deterioration to structural members due to on-going water leakage from the roof.
- Significant sloping of upper level floors and cracking of finishes suggests that differential foundation movement may have occurred.

Fig. 36b: Conclusions and recommendations from Herold Engineering's Visual Building Condition Assessment of 1587 York Place, May 31, 2023. (Source: HEL 2023, p. 17)

CONSERVATION RECOMMENDATIONS

Recommendations for the preservation and restoration of Annandale are based on the CHC site reviews (2023 and 2024) and the Visual Building Condition Assessment done by Herold Engineering Limited (2023). As outlined below, there

are numerous areas in need of attention, which will be addressed as part of this Heritage Revitalization Agreement (HRA). These recommended conservation strategies are based on the Canadian *Standards and Guidelines* and the HCA Guidelines.

ROOFING AND DRAINAGE

It is unclear exactly how old the current roof is, however, its condition overall is fair to poor with curling and decaying shingles and missing flashing in places as well. “The roofing shingles are in poor condition and life expired” (HEL 2023, p. 3). Various skylights were installed in the roof, over time. “The skylights are not operable and are in fair condition” (HEL 2023, p. 10). There is also abundant moss growth on the roof, particularly on its rear end (Figs. 37 to 38). Roof replacement is highly encouraged.

It is difficult to determine the full condition of the drainage system from a simple exterior inspection, however, the current gutters are falling off in places. As part of this conservation work, the drainage system (including the elements below ground) should be upgraded to guarantee optimal performance, with a regular maintenance schedule put in place to ensure their continued efficient and effective functioning.

Roofing and Drainage Conservation Strategy

Rehabilitation

- The roofing and drainage will be **rehabilitated** with a new roof and drainage system being installed.
- These should be regularly monitored and maintained to ensure their ongoing good condition.



Figs. 37 and 38: (Top) Northwest corner roof, 2024, showing deterioration and excessive moss growth. (Bottom) South facing roof, 2023, showing the deteriorating roof, in particular the missing flashing. (Sources: Cummer)

CHIMNEYS

There are four chimneys on the house in varying condition. Three of the four are, for the most part, in good to fair condition (see Figs. 37 and 38 above). There are concerns with them in the event of an earthquake: “Without additional structural supports it is likely that the chimneys would perform poorly during a seismic event” (HEL 2023, p. 4). The northeast chimney is in very poor condition with much of it missing (Fig. 39).

Chimney Conservation Strategy
Preservation, Restoration and Rehabilitation

- The intact front chimney will be **restored**, following relocation, with its form and detailing being **preserved**.
- The second front chimney, the chimney remnant will also be **restored**, using salvaged bricks from the chimneys of the rear wing, following the form and detailing visible in the historical photographs of the house.



Fig. 39: Northeast corner of Annandale, 2024, showing the chimney remnant missing its top half. (Source: Cummer)

VERANDAH

The verandah needs attention. There are rotted support beams; “this condition is structurally inadequate” (HEL 2023, p. 13). Sections have been temporarily stabilised, but the work appears incomplete (Fig. 40). “The glazing support rails are in an advanced state of decay and the support of the secondary glazing is clearly compromised” (HEL 2023, p. 11). Detailing, particularly the numerous balusters, have fallen off. There are balusters still on site, which could be used to restore this element.

Verandah Conservation Strategy
Preservation, Restoration and Rehabilitation

- The verandah should be **preserved**, but it needs extensive **restoration** work to improve its look and safety.
- The verandah’s enclosure will be removed, **restoring** it back to an open verandah, as described in 1897.
- Any elements that are in need of repair and **rehabilitation**, should use the materials available on site, where possible, or be **replaced in-kind**.



Fig. 40: Northeast corner view of Annandale, 2023, showing the rotten beams and the temporarily stabilised portion of the verandah. Note the deteriorating roof and drainage system, with the gutter peeling away from the building. (Source: Cumber)

CLADDING AND EXTERIOR FINISHES

The horizontal bevelled lap siding appears to be in poor to good condition, with the areas exposed to the elements and landscaping in need of more attention than those protected by the verandah. “The protective paint coatings are flaking. English Ivy has encroached over the exterior walls in several areas. While steps to abate the growth of this invasive plant appear to have been taken recently, it is clear that the cladding has been damaged” (HEL 2023, p. 8). The exterior finish of the house is in fair to poor condition and will benefit greatly from being repainted.

Cladding and Finishes Conservation Strategy
Preservation and Restoration

- The horizontal wood siding should be **preserved**, where possible, and **restored (replaced in-kind)**, as needed.
- The house should be repainted in its entirety.
- The current colour scheme does not need to be maintained. If possible, the original colour scheme should be determined by scraping down to the original layers of paint.
- For any re-painting, follow Master’s Painters’ Institute, Repainting Manual procedures, including removing loose paint down to next sound layer, clean surface with mild TSP solution with gentlest means possible and rinse with clean water; **do not use power-washing** as this can damage the building.

WINDOWS AND DOORS

On each elevation, some of the windows have been replaced (especially on the rear end), however, some are still original, predominately double-hung horned wood windows (Fig. 41). Overall, considering the age of the building, the original, intact windows are in largely good condition. The original front door also appears to be in good condition (Fig. 42), spared from the elements over the years by the enclosed verandah.

Windows and Doors Conservation Strategy

Preservation, Restoration and Rehabilitation

- All remaining original wood windows should be **preserved**, if and where possible. If any trims and/or sills need repair or replacement, these should be **replaced in-kind**. The surviving original dormer on the rear wing will be conserved and repurposed on the main structure to replace a mid-century skylight.

- The mid-century window replacements will be **restored** to their original look and design, including returning them back to being double-hung horned wood windows as per the HCA Guidelines, which recommends:

"removal and replacement of inappropriate windows, doors and architectural features with replicas of the originals." (Heritageworks 2020, p. 17)

"where window replacement is necessary, use new windows that match original dimensions, materials, style and manufacture." (ibid., p. 18)

- These restored windows will also be **rehabilitated** to be energy efficient and code compliant.

- The current front door should be **preserved** and **restored** with new staining.



Figs. 41 to 42: (Top) Example of the numerous surviving original double-hung horned wood windows, 2023, in largely good condition. (Bottom) Original front door of Annandale, 2023, also in good condition. (Sources: Cummer)

STRUCTURE AND FOUNDATIONS

Overall, the condition of the walls and building envelope of Annandale, from roof to foundation, appear to be stable. However, a new foundation and additional supports are desirable to extend the physical life of the building, particularly considering how the house currently sits (Fig. 43). "Only nominal connections were observed between post and beam members and between post members and foundations. This connectivity deficiency could contribute to poor structural performance in a seismic event" (HEL 2023, p. 16).

Structure Conservation Strategy

Preservation and Rehabilitation

- The main one and a half storey structure will be **preserved**.
- The structure will be **rehabilitated** by being put on a new foundation to extend its physical life and increase its structural stability, particularly in a seismic event.



Fig. 43: View underneath Annandale, 2023. (Source: Cummer)

INTERIOR

Although parts of the interior have already undergone significant change over the years, there are elements in good condition that will be preserved. In particular, the four Tudor arches highlighted in 1897 that frame the four bay windows will be preserved (Figs. 44 to 46). Additionally, the historical front hall, will maintain many of its features, including its woodwork, fireplace and folding

doors. Where and when possible, historical details (such as built-in bookcases, doors, doorknobs and hardwood flooring) will be incorporated in the revitalization. It is understood that elements will need to be removed during the reorientation process, to lighten the load of the building, but these will be documented before removal and restored back following the relocation.

Interior Conservation Strategy

Preservation, Restoration and Rehabilitation

- Where possible, interior features, particularly those listed as Character-Defining Elements (door furniture, fireplaces, tiles, Tudor arches and woodwork), should be **preserved**.
- Any elements that need to be removed during the reorientation (such as the fireplaces and hardwood flooring) will be **restored** following the relocation process.
- It is understood that some of the interior will be **rehabilitated** to facilitate the new rear configuration and allow for more comfortable modern living.



Figs. 44 to 46: (Top right) View of the Tudor arch and bay window in the rear wing. (Bottom left) View of the Tudor arch and bay window at the front. (Bottom right) View of the historical front hall. (Sources: Cummer and Binab)

LANDSCAPE FEATURES

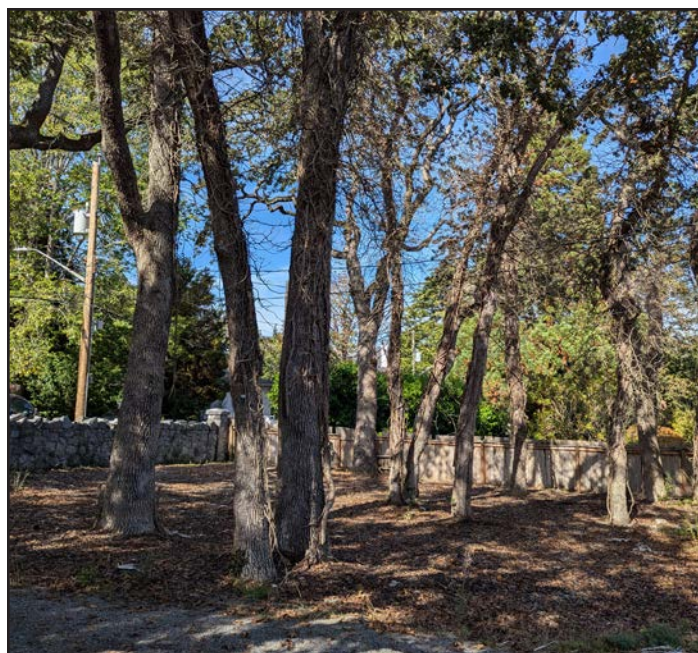
The landscaping on site is fairly minimal at this point, with much of the overgrowth having been removed (Fig. 47). A number of large trees (including Garry Oaks) are visible and present on site (Fig. 48). As mentioned, the western end of the house does have vines growing on it, which should be discouraged. The stone wall, along York Place, is in fair condition, in need of cleaning and maintenance (Fig. 49).

Landscaping Conservation Strategy

Preservation, Restoration and Rehabilitation

- The landscaping on site is being partly **preserved** and **rehabilitated**. Some is being kept, some will be removed, but others will be planted in their stead.
- Any additional landscaping being added to the site should have a minimum 2-ft clearance between the vegetation and the building face. This is preferable to ensure there is sufficient space from the structure and to remove any threat to the foundation or to the building's finishes over time.
- The stone wall will be, for the most part, **preserved** and **restored**, (cleaned and repointed, as needed).
- An additional opening is being put in along its north end to facilitate vehicular access. The Annandale cap from the original vehicular access opening will be relocated here and reunited with the Annandale lot.
- New cast-iron gates will be installed in the spirit of Annandale's originals, based on documentary evidence.
- All work should be documented prior to commencement and on completion, for record and reference purposes.

Figs. 47 to 49: (Top) Former landscaping on site, 2014. (Middle) View of some of the large trees on site, 2024. (Bottom) View of the York Place wall, 2024. (Sources: Google Street View and Cummer)



MAINTENANCE PLAN

Following completion of the outlined conservation work, the owner must maintain the building and land in good repair and in accordance with generally accepted maintenance standards. All work should follow the *Standards and Guidelines for the Conservation of Historic Places in Canada (2nd Edition)*. As with the Heritage Conservation Plan, the maintenance standards apply only to the exterior of the building.

As general upkeep is frequently overlooked and will lead to the deterioration of heritage resources, maintenance standards warrant special attention to help to extend the physical life of a heritage asset. Any building should be kept in a reasonable condition so that it continues to function properly without incurring major expenses to repair deterioration due to neglect. The most frequent source of deterioration problems is from poorly maintained roofs, rainwater works and destructive pests.

Site

- Ensure site runoff drainage is directed away from the building.
- Maintain a minimum 2-ft clearance between vegetation and building face and a 12-inch-wide gravel strip against the foundation in planted areas, if possible.
- Do not permit vegetation (such as vines) to attach to the building.

Foundation

- Review exterior and interior foundations, where visible, for signs of undue settlement, deformation or cracking.
- If encountered, seek advice from a professional Engineer, immediately.
- Ensure perimeter drainage piping is functional.
- Arrange a professional drainage inspection every three to five years.

Windows and Doors

- Replace cracked or broken glass as it occurs.
- Check satisfactory operation of windows and doors. Poor operation can be a sign of building settlement distorting the frame or sashes or doors may be warped.
- Check condition and operation of hardware for rust or breakage. Lubricate annually.
- Inspect weather stripping for excessive wear and integrity.

Wood Elements

- Maintaining integrity of the exterior wood elements is critical in preventing water ingress into the building. Annual inspection of all wood elements should be conducted.
- Closely inspect highly exposed wood elements for deterioration. Anticipate replacement in kind of these elements every 10 to 15 years.
- Any signs of deterioration should be identified and corrective repair/replacement action carried out. Signs to look for include:
 - Wood in contact with ground or plantings;
 - Excessive cupping, loose knots, cracks or splits;
 - Open wood-to-wood joints or loose/missing fasteners;
 - Attack from biological growth (such as moss or moulds) or infestations (such as carpenter ants);
 - Animal damage or accumulations (such as chewed holes, nesting, or bird/rodent droppings). These should be approached using Hazardous Materials procedures; and
 - Signs of water ingress (such as rot, staining or mould).
- Paint finishes should be inspected every three to five years and expect a full repainting every seven to ten years. Signs to look for include:
 - Bubbling, cracks, crazing, wrinkles, flaking, peeling or powdering; and
 - Excessive fading of colours, especially dark tones.

Roofing and Rainwater Works

- Inspect roof condition every five years, in particular looking for:
 - Loose, split or missing shingles, especially at edges, ridges and hips;
 - Excessive moss growth and/or accumulation of debris from adjacent trees; and
 - Flashings functioning properly to shed water down slope, especially at the chimneys.
- Remove roof debris and moss with gentle sweeping and low-pressure hose.
- Plan for roof replacement at around 18 to 22 years.
- Annually inspect and clean gutters and flush out downspouts. Ensure gutters positively slope to downspouts to ensure there are no leaks or water splashing onto the building.
- Ensure gutter hangers and rainwater system elements are intact and secure.
- Ensure downspouts are inserted into collection piping stub-outs at grade and/or directed away from the building onto concrete splash pads.

General Cleaning

- The building exterior should be regularly cleaned depending on build up of atmospheric soot, biological growth and/or dirt up-splash from the ground. Cleaning prevents build up of deleterious materials, which can lead to premature and avoidable maintenance problems.
- Windows, doors and rainwater works should be cleaned annually.
- When cleaning always use the gentlest means possible, such as soft bristle brush and low-pressure hose. Use mild cleaner if necessary, such as diluted TSP or Simple Green ©.
- Do not use high-pressure washing as it will lead to excessive damage to finishes, seals, caulking and wood elements and it will drive water in wall assemblies and lead to larger problems.

CONCLUSION

With the above in mind, from a heritage professional perspective, the proposed work on 1587 York Place, although dramatic, appears to be a supportable intervention considering the site conditions, current context and occupant needs. As is the case with any heritage project, there is a need to compromise and balance factors beyond this one area of expertise. As articulated by English Heritage in their publication *Conservation Principles, Policies and Guidance*, heritage conservation is about the effective management of change, rather than freezing things in time.

Principle 4: Significant places should be managed to sustain their values

4.1: Change in the historic environment is inevitable, caused by natural processes, the wear and tear of use, and people's responses to social, economic and technological change.

4.2: Conservation is the process of managing change to a significant place in its setting in ways that will best sustain its heritage values, while recognising opportunities to reveal or reinforce those values for present and future generations.

(English Heritage 2008, p. 22 with author bolding for emphasis)

The proposed Heritage Revitalization Agreement for Annandale is a welcome opportunity to revitalize this important heritage asset, which is in great need of attention. Annandale's aesthetic value, historical/cultural value and social value are being preserved and reinforced with this proposed conservation work. This will allow for Annandale's continued residential use, for its deteriorated condition to be fully addressed and for its historical front to be better appreciated from the street for another century to come.

Thank you and sincerely,



Katie Cummer, PhD CAHP

Principal, Cummer Heritage Consulting

June 25, 2026

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HERITAGE REVITALIZATION PROPOSAL .
YORK PLACE SUBDIVISION

RE-ISSUED 03.05.26



RENDERING UPDATED 02.25.26

SHEET LEGEND

PORTIONS OF SHEETS WHICH REMAIN
UNCHANGED FROM PREVIOUS SUBMISSION



LIST OF DRAWINGS

PROJECT SHEETS

	COVER SHEET <H>
SK-0.1	CONTEXT
SK-0.2	SITE PLAN LOTS 1,2, &3 <H>
SK-0.3	SITE PLAN LOT 4
SK-0.4	SITE PLAN, EXISTING
SK-0.5	SITE DATA EXISTING LOTS AT 1587 & 1561 YORK PLACE
SK-0.6	PROJECT DATA LOTS 1 & 2 <H>
SK-0.7	PROJECT DATA LOTS 3 & 4
LOT 1	ANNANDALE HOUSE
SK-1.0	LOWER FLOOR PLAN PROPOSED<H>
SK-1.1	MAIN FLOOR EXISTING
SK-1.2	MAIN FLOOR PLAN PROPOSED <H>
SK-1.3	UPPER FLOOR EXISTING
SK-1.4	UPPER FLOOR PLAN PROPOSED<H>
SK-1.5	ROOF PLAN PROPOSED<H>
SK-1.6	DEMO PLAN
SK-1.7	EAST ELEVATION EXISTING
SK-1.8	WEST ELEVATION PROPOSED <H>
SK-1.9	NORTH ELEVATION EXISTING
SK-1.10	SOUTH ELEVATION PROPOSED<H>
SK-1.11	SOUTH ELEVATION EXISTING
SK-1.12	NORTH ELEVATION PROPOSED<H>
SK-1.13	WEST ELEVATION EXISTING
SK-1.14	EAST ELEVATION PROPOSED <H>
SK-1.16	PROPOSED MATERIALS & COLOURS<H>
SK-1.17	GARAGE PLAN AND ELEVATIONS<H>
NOTE: SHEETS NOT TAGGED "H" ARE UNCHANGED AND NOT INCLUDED	

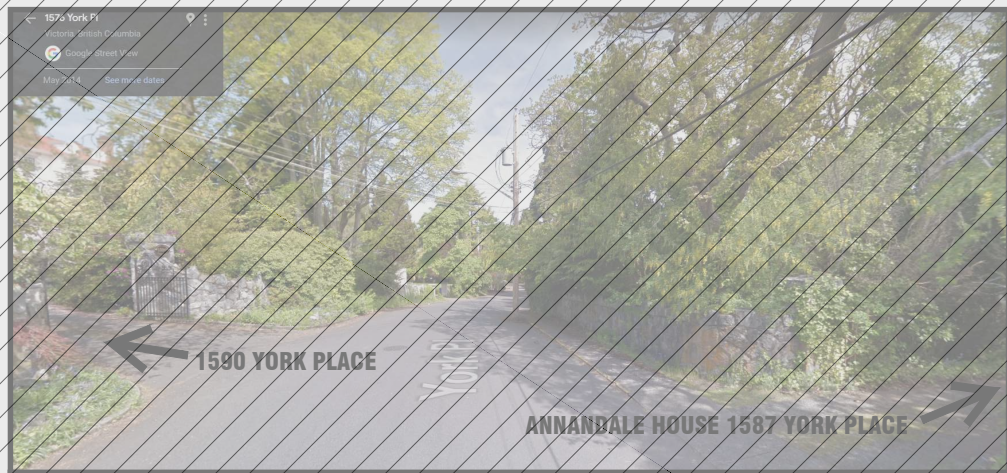
LOT 2	DUPLEX & SECONDARY SUITES
SK-2.1	LOWER & MAIN FLOOR PLANS
SK-2.2	UPPER FLOOR PLAN
SK-2.3	WEST/FRONT AND EAST ELEVATIONS
SK-2.4	NORTH & SOUTH ELEVATIONS
SK-2.5	STREETSCAPE LOTS 1 & 2
LOT 3	CONVERSION TO SFD
SK-3.1	EXISTING GARAGE-STUDIO FLOOR PLAN
SK-3.2	FLOOR PLAN PROPOSED CONVERSION
SK-3.3	(NEW) LOT 3 SOUTH AND EAST ELEVATIONS
SK-3.4	(NEW) LOT 3 NORTH AND WEST ELEVATIONS
LOT 4	EXISTING SFD REMAINS, SEE SK-0.3
SK-4.5	(NEW) GREENHOUSE PLANS AND ELEVATIONS

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Murdoch
de Greeff INC

WESTPLAN
CONSULTING GROUP



VIEW NORTH ON YORK PLACE



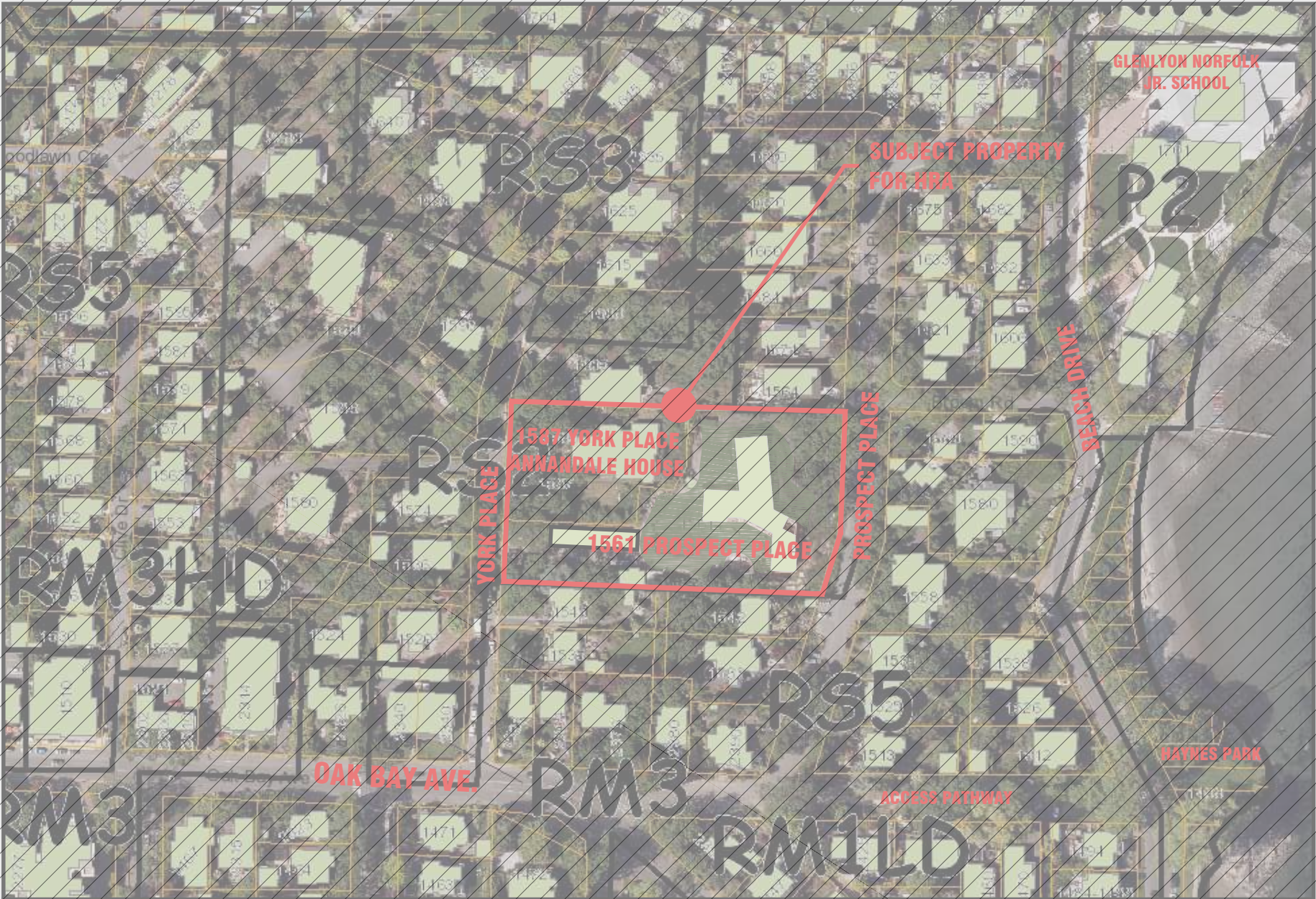
VIEW SOUTH ON YORK PLACE



VIEW NORTH ON PROSPECT PLACE



VIEW SOUTH ON PROSPECT PLACE



1
SK-0.1

AERIAL CONTEXT
graphic scale

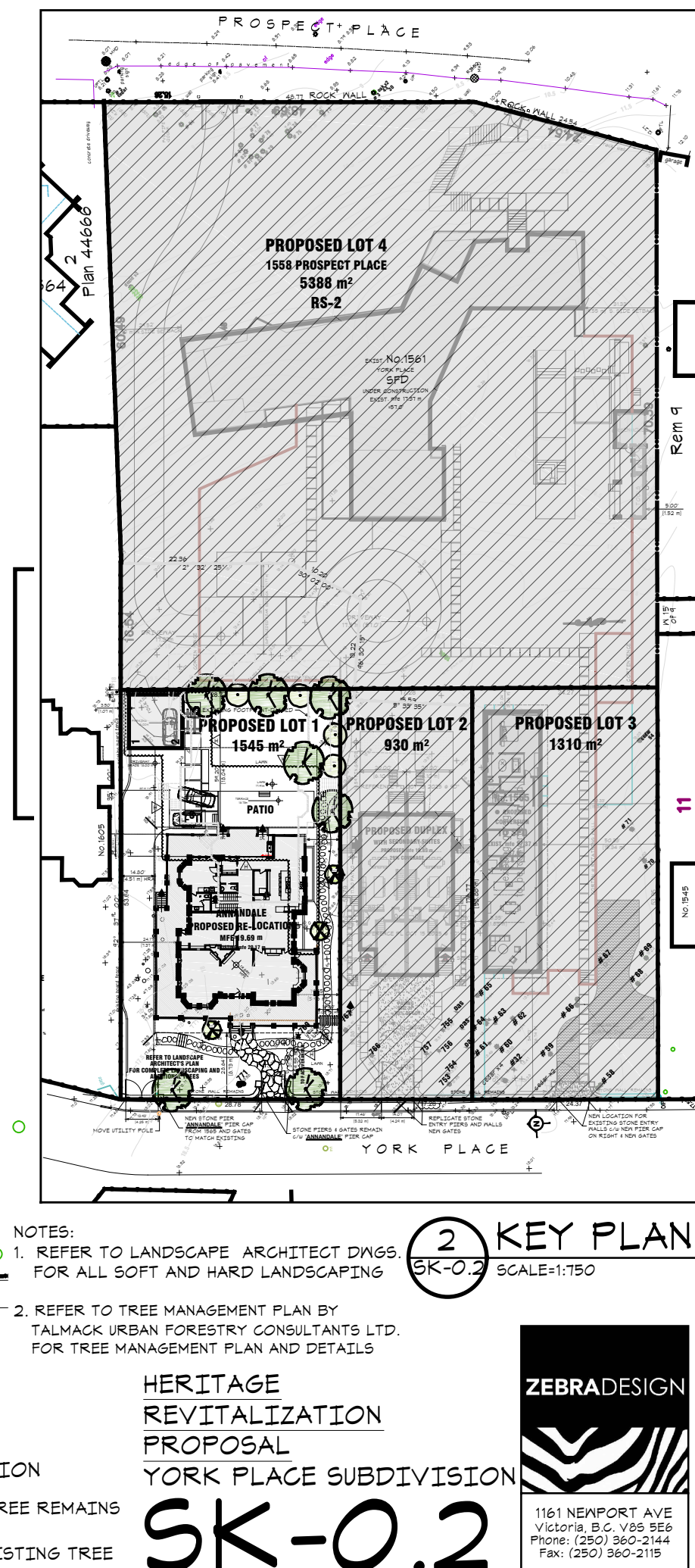
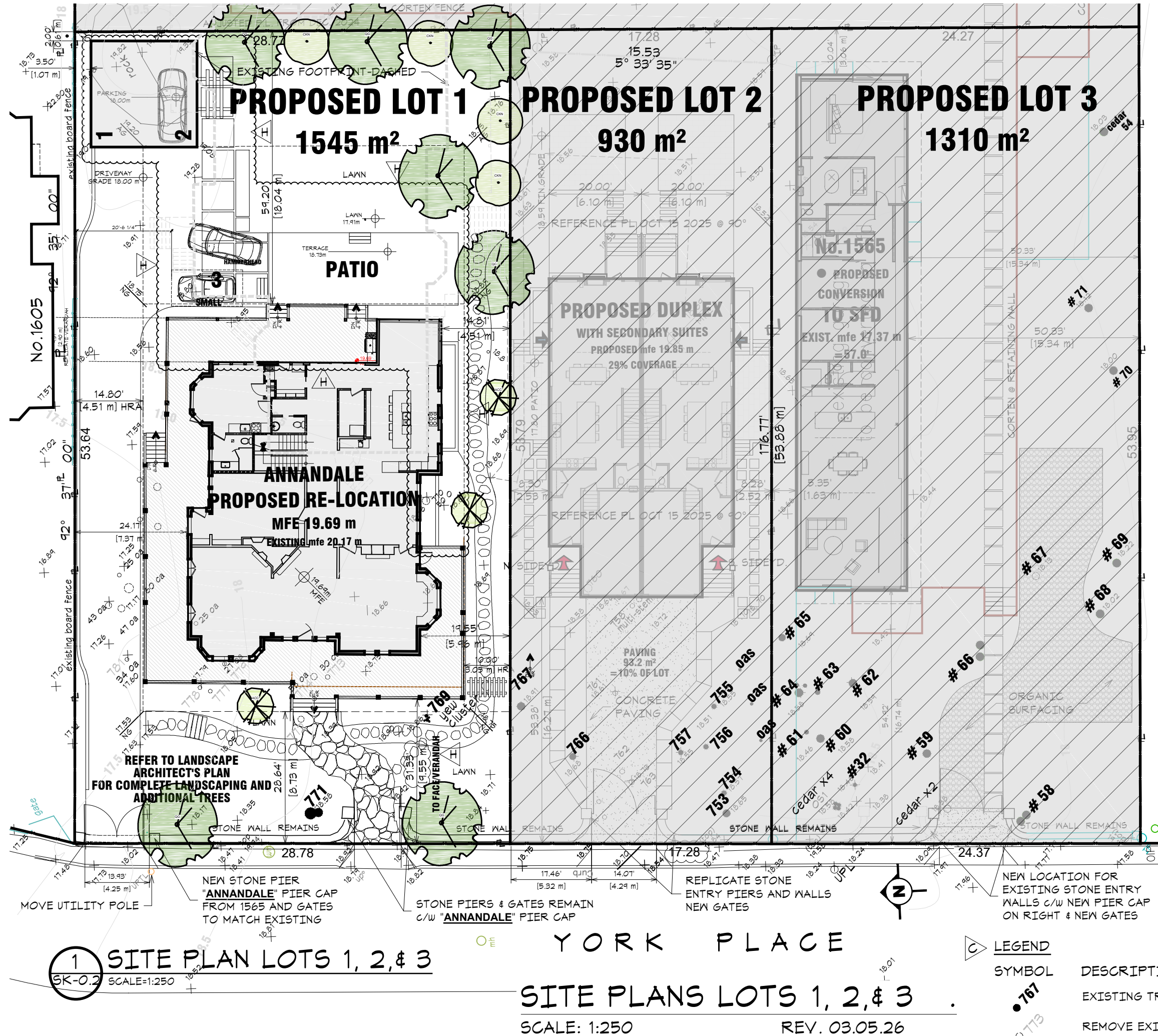
HERITAGE REVITALIZATION PROPOSAL
CONTEXT
SCALE 1:100

ISSUED 04.11.23

HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION
SK-0.1

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NOTES:

1. REFER TO LANDSCAPE ARCHITECT DWGS. FOR ALL SOFT AND HARD LANDSCAPING
2. REFER TO TREE MANAGEMENT PLAN BY TALMACK URBAN FORESTRY CONSULTANTS LTD. FOR TREE MANAGEMENT PLAN AND DETAILS

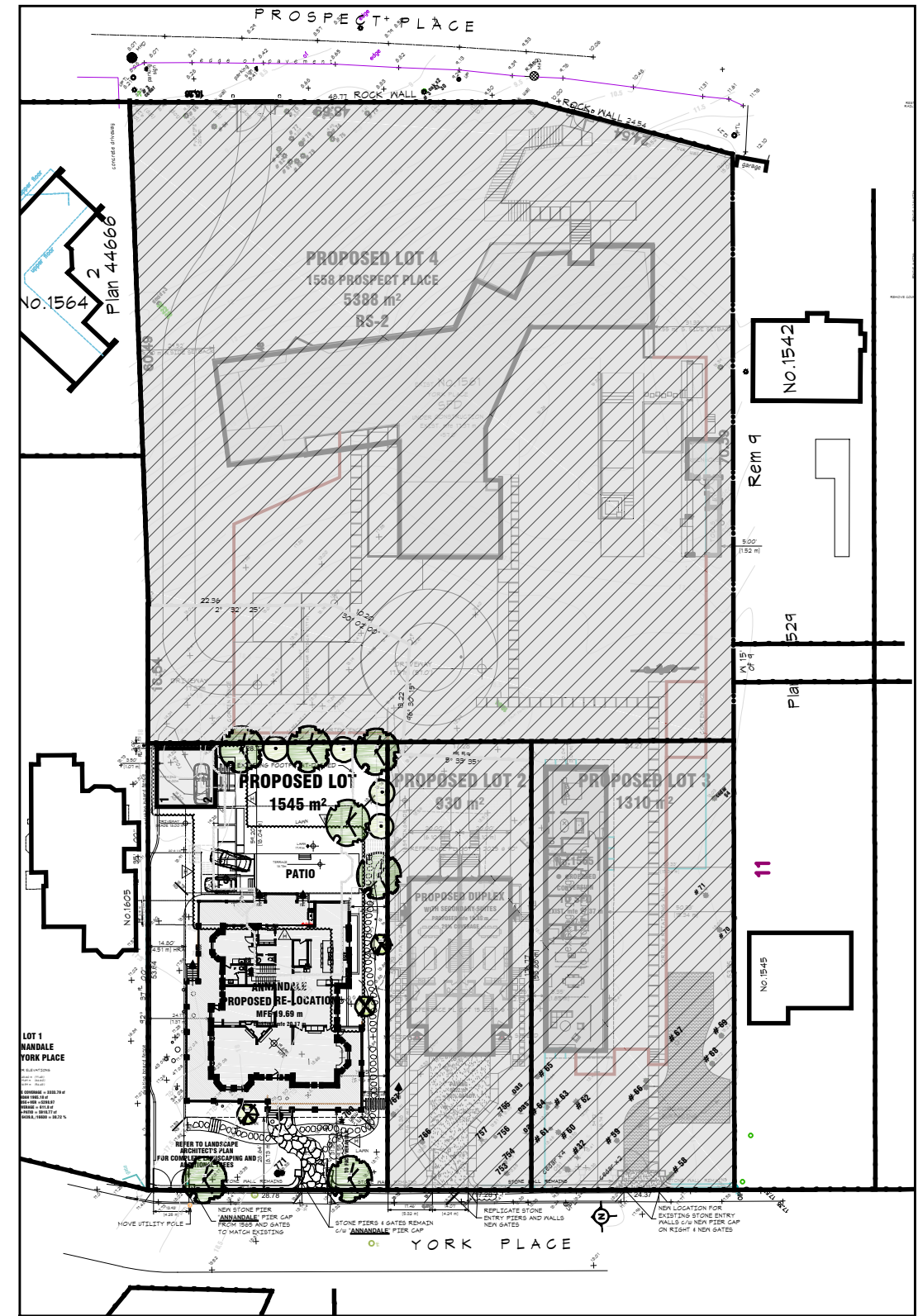
HERITAGE REVITALIZATION PROPOSAL

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SK-0.2

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LEGEND

REFER TO TREE MANAGEMENT PLAN,
TREE RESOURCE TABLE
FOR TREE IDENTIFICATION NUMBER

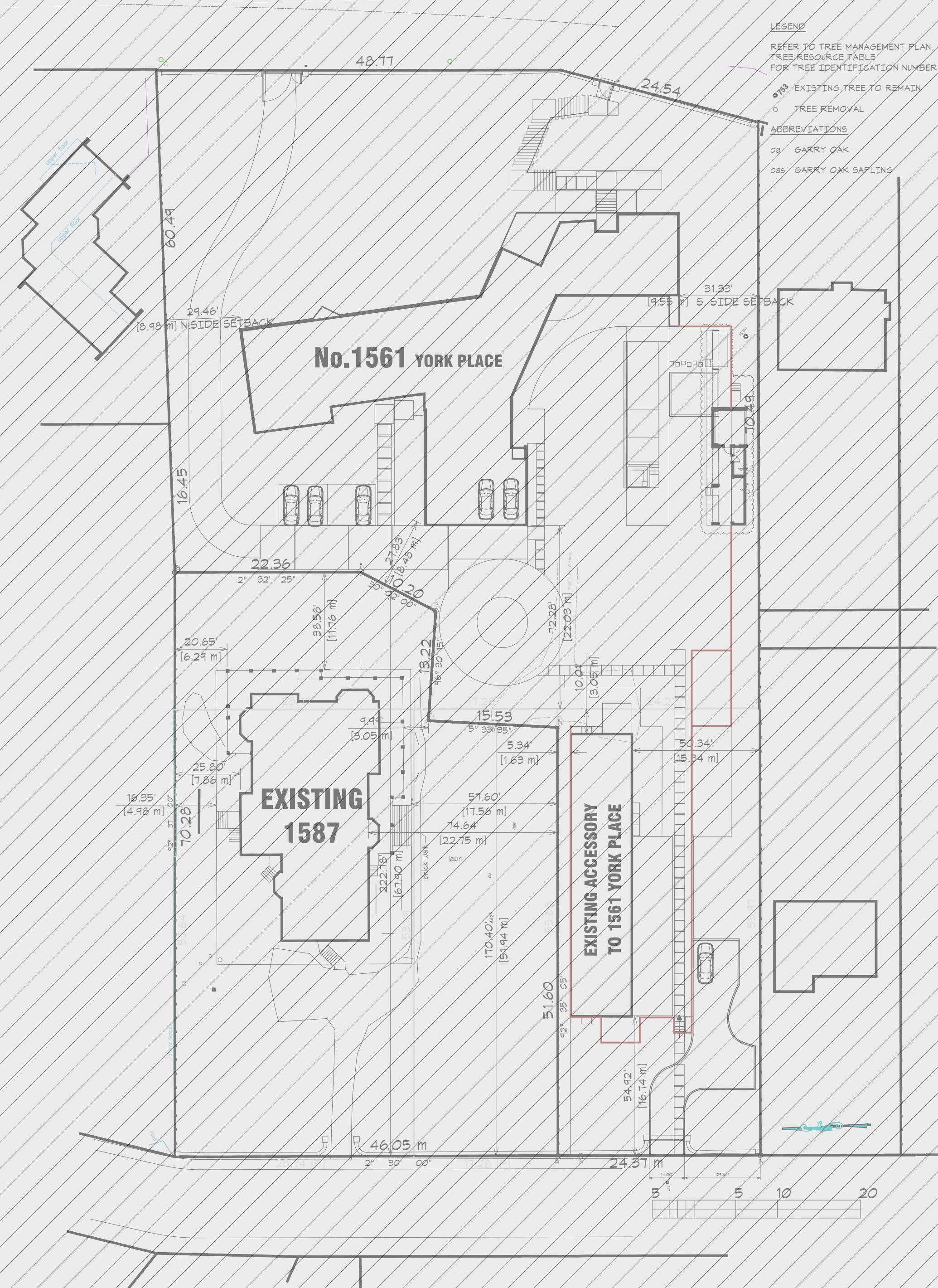
o783 EXISTING TREE TO REMAIN

o TREE REMOVAL

ABBREVIATIONS

oa GARRY OAK

oas GARRY OAK SAPLING



LOT 1 ANNANDALE
EXISTING SITE WITH PROPOSED LOT LINES
SCALE 1:400
REVISED 08.12.24

HERITAGE
REVITALIZATION
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SK-0.4

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SITE DATA - EXISTING LOT FOR "ANNANDALE HOUSE" 1587 YORK PLACE, VICTORIA BC		
LEGAL DESCRIPTION: AMENDED LOT 1 (DD 272887I) OF SECTION 49, VICTORIA DISTRICT, PLAN 10717		
LOT INFORMATION	COMPARISON RS-3	EXISTING
ZONE		RS-2 (2022), R-2 (2025)
LOT AREA	1115 m² min.	2939 m²
LOT FRONTAGE		46.05 m
LOT BREADTH		46.05 m
LOT DEPTH		63.30 m
FRONT YARD SETBACK AREA		m²
PAVED SURFACE	25% max.	18.3/350.28m²=5.2%
REAR YARD SETBACK AREA		m²
PAVED SURFACE	25% max.	m² / %
SETBACKS		
FRONT LOT LINE	NO CONTEXTUAL LOTS	26.0 m
INTERIOR SIDE LOT LINE (N)	1.52 m	4.98 m
INTERIOR SIDE LOT LINE (S)	1.52 m	3.08 m
TOTAL SIDE LOT LINES	4.57 m	10.85 m
REAR LOT LINE	7.62 m	11.76 m
SECOND STOREY (N)	3.0 m	7.77 m
SECOND STOREY (S)	3.0 m	22.75 m
BETWEEN BLDGS/STRUCTURES		
HEIGHTS		
AVERAGE GRADE		18.43 m
ROOF HEIGHT	9.14 m	13.28 m
BUILDING HEIGHT	7.32 m	8.22 m
OCCUPIABLE HEIGHT	4.57 m	5.65 m
GROSS FLOOR AREA		
MAIN FLOOR AREA incl.verandahs		544 m²
UPPER FLOOR		305.58 m²
GARAGE		49.0 m²
EXEMPTIONS	NOT INCLUDED ABOVE; EXTERIOR STAIRS TO DOORS	-
TOTAL FLOOR AREA		898.58 m²
FLOOR AREA RATIO	0.4	898.6 / 2939 = .31
LOT COVERAGE		
PRINCIPAL	30%	566.88 m²/ 19.3%
ACCESSORY BUILDING	7%	49.0 m² / 1.6%
PARKING: #SPACES, COVERED	2,1	3,0

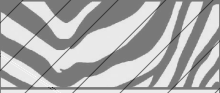
SITE DATA - EXISTING LOT AT 1561 YORK PLACE, VICTORIA BC [ORIGINAL LOT]		
LEGAL DESCRIPTION: AMENDED LOT 2 (DD 272887I) OF SECTION 69, VICTORIA DISTRICT, PLAN 10717		
LOT INFORMATION	COMPARISON RS-2	EXISTING
ZONE		RS-2
LOT AREA	558 m² min.	6252 m²
LOT FRONTAGE YORK PLACE	15.25 m	24.4 m
LOT FRONTAGE PROSPECT PLACE		73.31 m
LOT BREADTH	15.25 m	72.32 m
FRONT YD SETBACK AREA PROSPECT		1029 m²
PAVED SURFACE	25% max.	153 / 1029 m² =15.1%
FRONT YARD SETBACK AREA, YORK		1678 m²
PAVED SURFACE	25% max.	270.5 / 1678 m²=16.1%
SETBACKS		
FRONT LOT LINE- PROSPECT	9.71 m (Para.0) ± 1.5m, min.8.21m	13.7 m
FRONT LOT LINE YORK	9.71 m (Para.10) ± 1.5m, min.8.21m	23.4 m
INTERIOR SIDE LOT LINE (N)	1.52 m	9.0 m
INTERIOR SIDE LOT LINE (S)	1.52 m	9.5 m
TOTAL SIDE LOT LINES	4.57 m	18.5 m
SECOND STOREY	3.0 m	n/a
BETWEEN BLDGS/STRUCTURES		25 m
HEIGHTS - PRINCIPAL		
AVERAGE GRADE		15.11 m
ROOF HEIGHT	9.14 m	23 m
BUILDING HEIGHT	7.32 m	22 m
OCCUPIABLE HEIGHT	4.57 m	2.3 m
HEIGHTS - ACCESSORY		
AVERAGE GRADE		18.3 m
ROOF HEIGHT		2.69 m
BUILDING HEIGHT		3 m
OCCUPIABLE HEIGHT		-1.1 m
GROSS FLOOR AREA - PRINCIPLE		
MAIN FLOOR AREA		704.4 m²
BASEMENT		175.0 m²
CRAWLSPACE		393.0 m² (not incl.)
DECKS, PATIOS, LANDINGS, WATER FEATURE, PLANTER		308 m² (not incl.)
GROSS FLOOR AREA		704.4 m²
FLOOR AREA RATIO	0.4	704.4 / 6252 = .11
LOT COVERAGE		
PRINCIPAL	25% = 1563 m²	445 / 6252 = 15.1%
ACCESSORY BUILDING	5%	250 / 6252 = 3.9%
PARKING: #SPACES, COVERED	2, 1 COVERED	15, 9 COVERED

HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION

SK-0.5

HRA AND YORK PLACE SUBDIVISION
PROJECT DATA - ORIGINAL LOTS
YORK AND PROSPECT PLACE ISSUED 04.06.23

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SITE DATA - ANNANDALE LOT 1 1587 YORK PLACE, VICTORIA BC		
LOT INFORMATION	COMPARISON RS-3 DUE TO LOT SIZE	PROPOSED
ZONE		BY HRA
LOT AREA	1115 m² min.	1545 m²
LOT FRONTAGE	21.34 m	28.74 m
LOT BREADTH	21.34 m	28.74 m
LOT DEPTH		53.71 m
FRONT YARD SETBACK AREA		218.6 m² (@7.6m) 
PAVED SURFACE	25%	57.8 m² / 27 %
REAR YARD SETBACK AREA		218.8 m² (@7.6 m) 
PAVED SURFACE	25%	14.5 m² / 6 %
SETBACKS		
FRONT LOT LINE	11.88 (Para.10)	8.73 m
INTERIOR SIDE LOT LINE (N)	1.52 m	4.51 m
INTERIOR SIDE LOT LINE (S)	1.52 m	3.05 m
TOTAL SIDE LOT LINES	4.57 m	7.56 m
REAR LOT LINE	7.62 m	18.04 m 
SECOND STOREY (N)	3.0 m	7.45 m
SECOND STOREY (S)	3.0 m	4.49 m
BETWEEN BLDGS/STRUCTURES		3.06 m -TRELLIS
HEIGHTS		
AVERAGE GRADE		18.48 m 
ROOF HEIGHT	9.14 m	12.75 m 
BUILDING HEIGHT	7.32 m	7.69 m 
OCCUPIABLE HEIGHT	4.57 m	5.50 m
GROSS FLOOR AREA		
LOWER FLOOR, EXEMPT-CEIL. xx m ABOVE GRADE		179.3 m² 
MAIN FLOOR AREA incl.verandahs except front verandah		441.8 m² 
UPPER FLOOR		226.86 m² 
GARAGE	19 m² EXEMPT	49.1-19.0 m²= 30.1m²
TOTAL FLOOR AREA, MAIN + UPPER		698.76 m² 
FLOOR AREA RATIO with exemptions	0.4	698.76 / 1545 = 45 
LOT COVERAGE		
PRINCIPAL	30%	492.32m² PRINCIPAL, / 1115m² = 44.15 % 
PRINCIPAL + GARAGE	30%	492.32 m² PRINCIPAL, + 49.14M² GARAGE = 541.46 m², / 1115 = 48.56% 
PARKING, COVERED, UNCOVERED	2,1	2,1

SITE DATA - LOT 2 1585 YORK PLACE, VICTORIA BC		
LOT INFORMATION	COMPARISON RS-5	PROPOSED
ZONE		BY HRA
LOT AREA	558 m² min.	930 m²
LOT FRONTAGE	15.25 m	27.28 m
LOT BREADTH	15.25 m	27.28 m
LOT DEPTH	53.79 m	53.79 m
FRONT YARD SETBACK AREA		274.15 m²
PAVED SURFACE	25%	126.9 m² / 45.1%
REAR YARD SETBACK AREA		230.8 m²
PAVED SURFACE	25%	11.38 m² / 131.4= 8.6 %
SETBACKS		
FRONT LOT LINE	9.71 m (Para.10) ± 1.5m, min.6.21m	16.27 m
INTERIOR SIDE LOT LINE (N)	1.52 m	0 m to patio 2.53 m to house 
INTERIOR SIDE LOT LINE (S)	1.52 m	0 m to patio 2.52 m to house 
TOTAL SIDE LOT LINES	4.57 m	0 m to patio 5.05m to house
REAR LOT LINE	13.44 m	13.34 m
SECOND STOREY (N)	3.0 m	2.55 m
SECOND STOREY (S)	3.0 m	2.55 m
HEIGHTS		
AVERAGE GRADE		18.62 m TBA
ROOF HEIGHT	9.14 m	10.88 m TBA 
BUILDING HEIGHT	7.32 m	6.77 m TBA
OCCUPIABLE HEIGHT	4.57 m	N/A
GROSS FLOOR AREA		
LOWER FLOOR all floor area exempt per bylaw 4.6.11(2)(b)		167.74 m²
MAIN FLOOR		243.4 m²
UPPER FLOOR		219.9 m²
TOTAL GROSS FLOOR AREA		463.3 m²
FLOOR AREA RATIO	0.4	463.3 / 930 = .5
LOT COVERAGE		
PRINCIPAL	30%	271.3 / 930= 29 %
PARKING: #SPACES, COVERED	2,1	2,2

HRA AND YORK PLACE SUBDIVISION
PROJECT DATA LOTS 1 & 2

REV. 03.06.26

HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION

SK-0.6

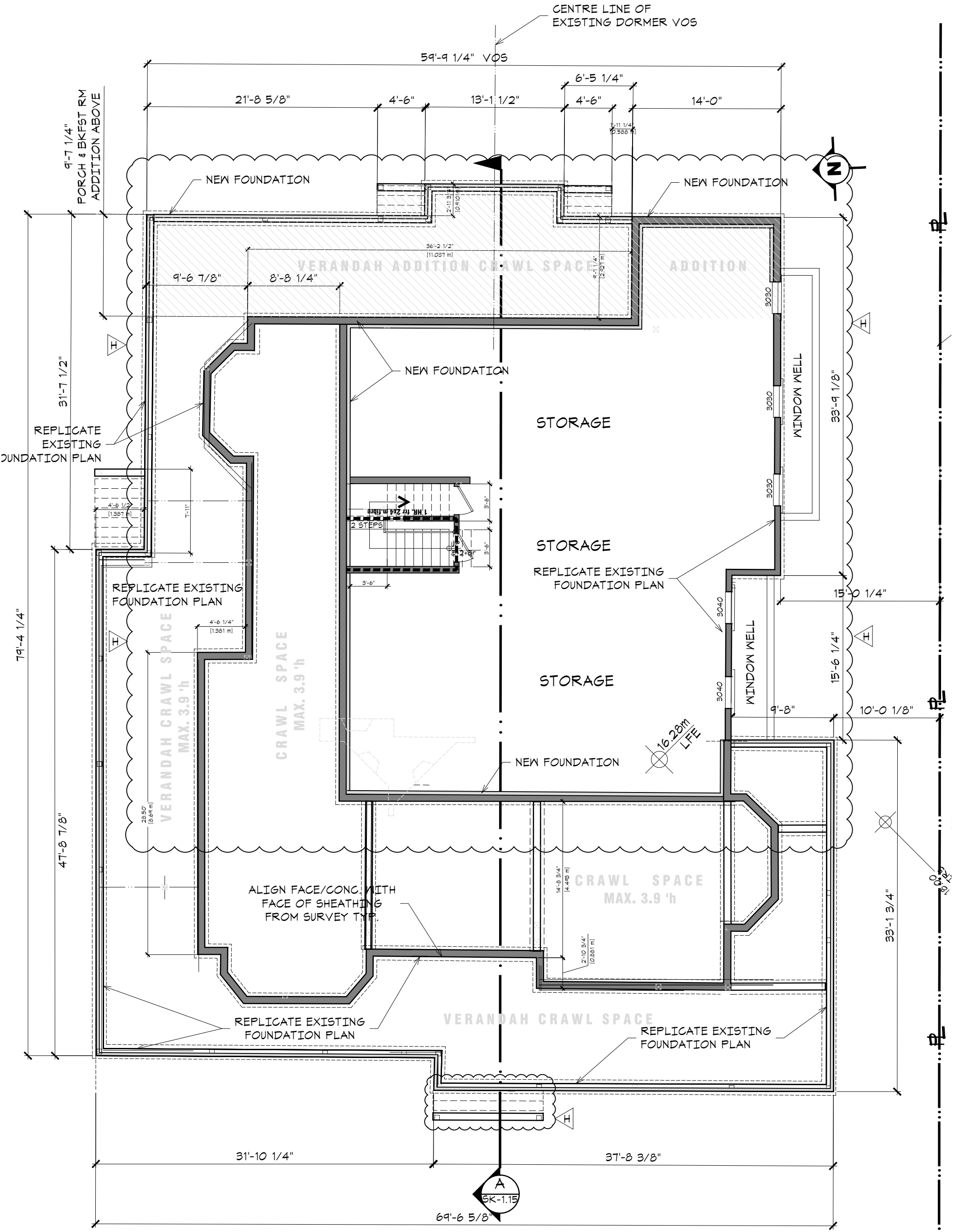
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Fax: (250) 360-2115

SITE DATA - LOT 3 1565 YORK PLACE, VICTORIA BC		
LOT INFORMATION	COMPARISON RS-3	PROPOSED
ZONE		BY HRA
LOT AREA	1115 m² min.	1310 m²
LOT FRONTAGE	24.37 m	(24.37)m <A
LOT BREADTH	24.37 m	(24.37)m <A
LOT DEPTH		53.88 m
FRONT YARD SETBACK AREA		185.56 m²
PAVED SURFACE	25%	34.56 m²/18.6%
REAR YARD SETBACK AREA		185.02 m²
PAVED SURFACE	25% @ 11.88m SETBACK	23.41 m² / 8.1% <A
SETBACKS		
FRONT LOT LINE	11.88 (Para.10)	16.74 m
INTERIOR SIDE LOT LINE (N)	1.52 m	1.63 m
INTERIOR SIDE LOT LINE (S)	1.52 m	15.34 m
TOTAL SIDE LOT LINES	4.57 m	16.97 m
REAR LOT LINE	7.62 m	3.03 m
SECOND STOREY (N)	3.0 m	n/a
SECOND STOREY (S)	3.0 m	n/a
BETWEEN BLDGS/STRUCTURES		n/a
HEIGHTS		
AVERAGE GRADE		18.3 m
ROOF HEIGHT	9.14 m	2.69 m
BUILDING HEIGHT	7.32 m	3 m
OCCUPIABLE HEIGHT	4.57 m	-1.1 m
GROSS FLOOR AREA		
TOTAL & MAIN FLOOR AREA		250 m²
FLOOR AREA RATIO	0.4	250 / 1310 = .19
LOT COVERAGE	25%	250 / 1310 = 19 %
PARKING: #SPACES, COVERED	2,1	2,0

SITE DATA - LOT 4 1558 PROSPECT PLACE, VICTORIA BC		
LOT INFORMATION	COMPARISON RS-2	PROPOSED
ZONE		BY HRA
LOT AREA	2226 m²	5388 m²
LOT FRONTAGE	15.25 m	73.21 m
LOT BREADTH	15.25 m	72.32 m
LOT DEPTH		75.77 m = (.665x51.1)+(.335x24.67)
FRONT YARD SETBACK AREA		1029 m²
PAVED SURFACE	25%	153 / 1029 m² =15.1%
REAR YARD SETBACK AREA		533.52 m²
PAVED SURFACE	25%	132.8 / 533.52 m²=24.8%
SETBACKS		
FRONT LOT LINE	9.71 m (Para.10) ± 1.5m, min.8.21m	13.7 m
INTERIOR SIDE LOT LINE (N)	1.52 m	9.0 m
INTERIOR SIDE LOT LINE (S)	1.52 m	9.5 m
TOTAL SIDE LOT LINES	4.57 m	18.5 m
REAR LOT LINE	7.62 m	22.15 m
SECOND STOREY	3.0 m	n/a
BETWEEN BLDGS/STRUCTURES		n/a
HEIGHTS		
AVERAGE GRADE		15.11 m
ROOF HEIGHT	9.14 m	23 m
BUILDING HEIGHT	7.32 m	22 m
OCCUPIABLE HEIGHT	4.57 m	2.3 m
GROSS FLOOR AREA		
MAIN FLOOR AREA		704.4 m²
BASEMENT		175.0 m²
CRAWLSPACE		393.0 m² (not incl.)
DECKS, PATIOS, LANDINGS, WATER FEATURE, PLANTER		308.0 m² (not incl.)
GROSS FLOOR AREA		704.4 m²
FLOOR AREA RATIO	0.4	704.4 / 5388 = .13
LOT COVERAGE		
PRINCIPAL	25% = 1347 m²	945 / 5388 m² = 17.5%
ACCESSORY BUILDING	5%	n/a
PARKING: #SPACES, COVERED	2,1	6,3



LOT 1 ANNANDALE
LOWER FLOOR

SCALE 1:100

ALL NEW FOUNDATION REPLACES EXISTING
ALL STORAGE
REVISED 03.05.26

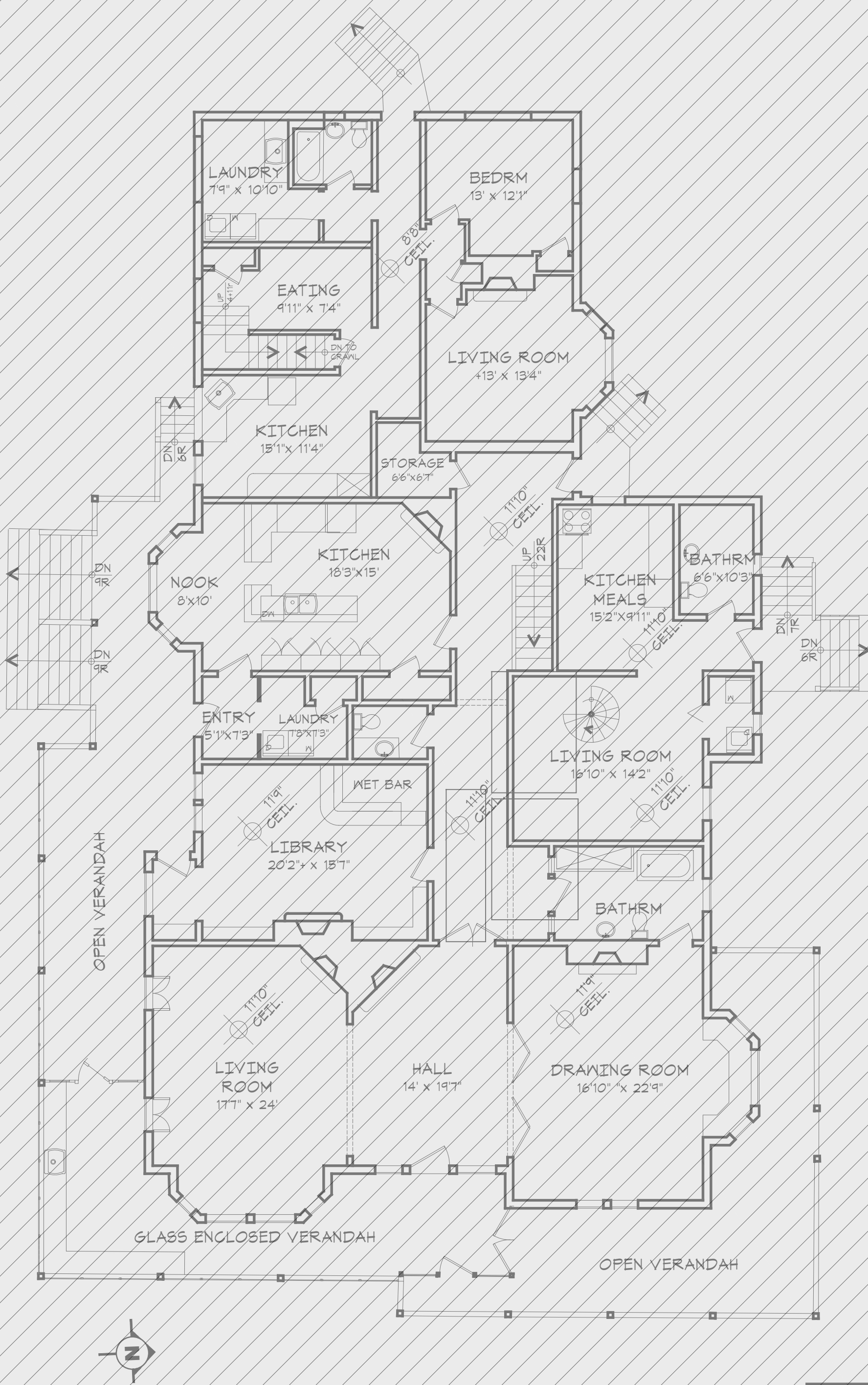
HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION

SK-1.0

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LOT 1 ANNANDALE
MAIN FLOOR EXISTING

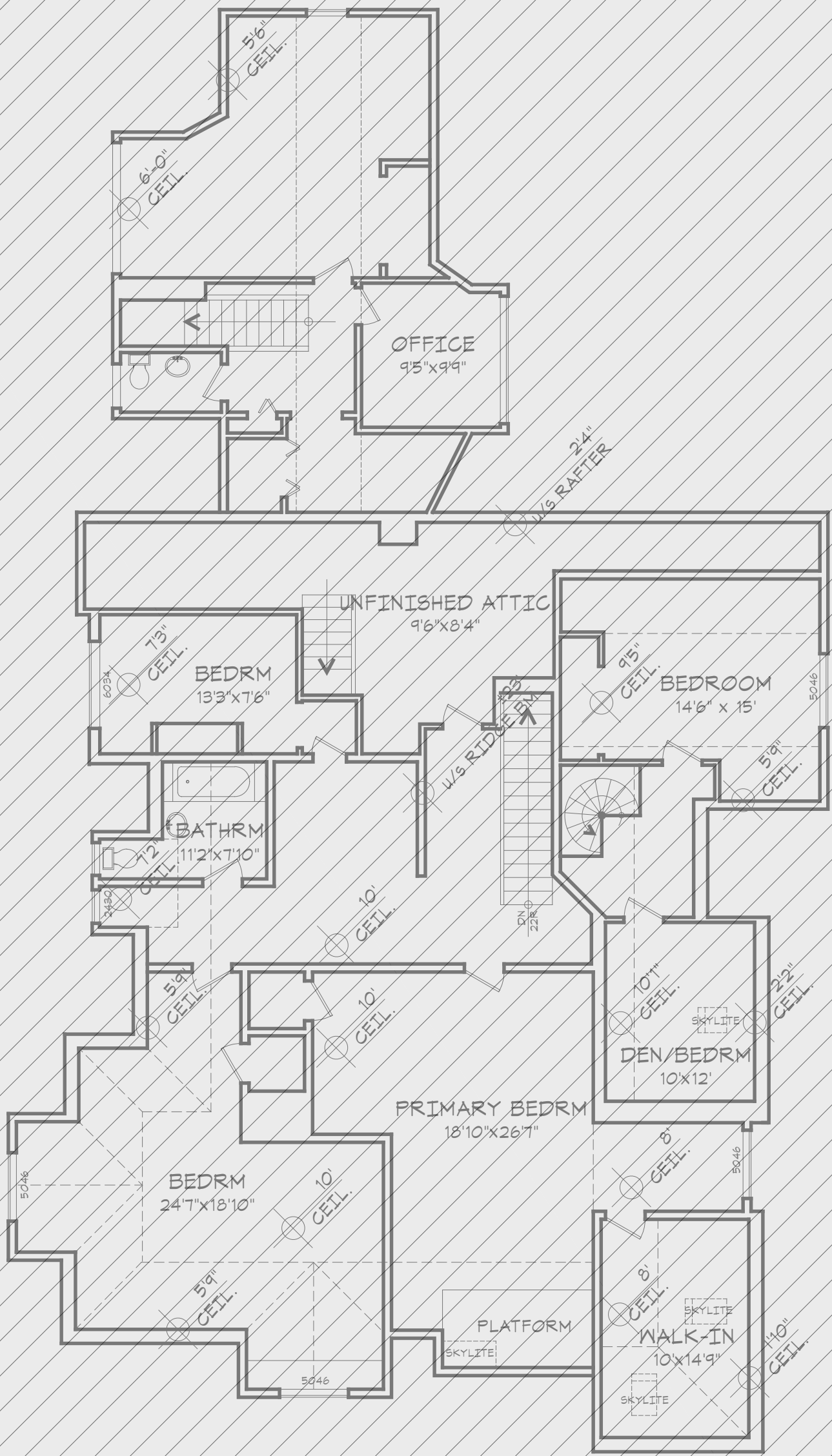
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ISSUED 04.06.23

HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION

SK-1.1





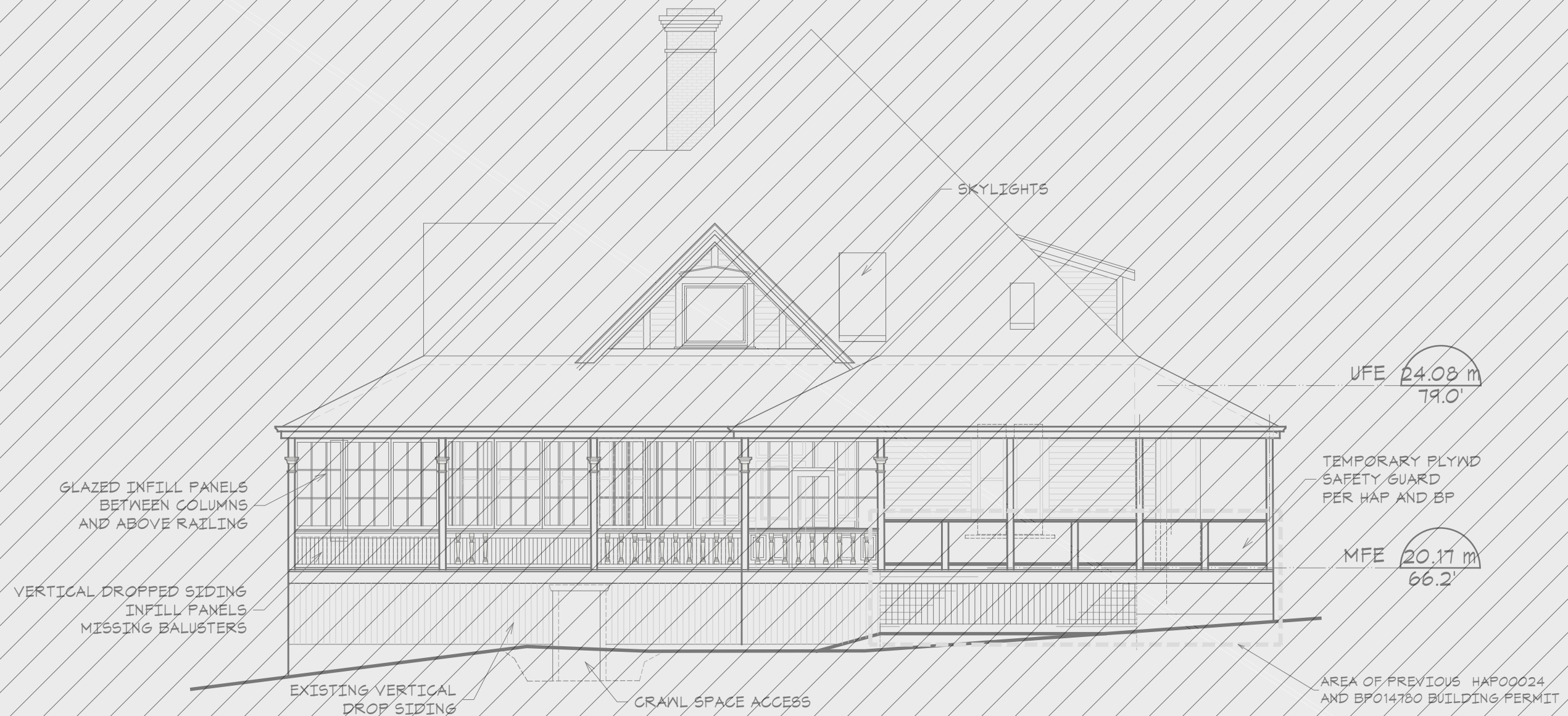
LOT 1 ANNANDALE
UPPER FLOOR EXISTING
SCALE 1:100

ISSUED 04.06.23

HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION

SK-1.3





LOT 1 ANNANDALE
EAST ELEVATION EXISTING

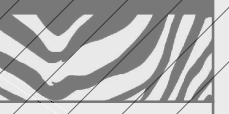
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ISSUED 04.06.23

HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION

SK-1.7

ZEBRADESIGN

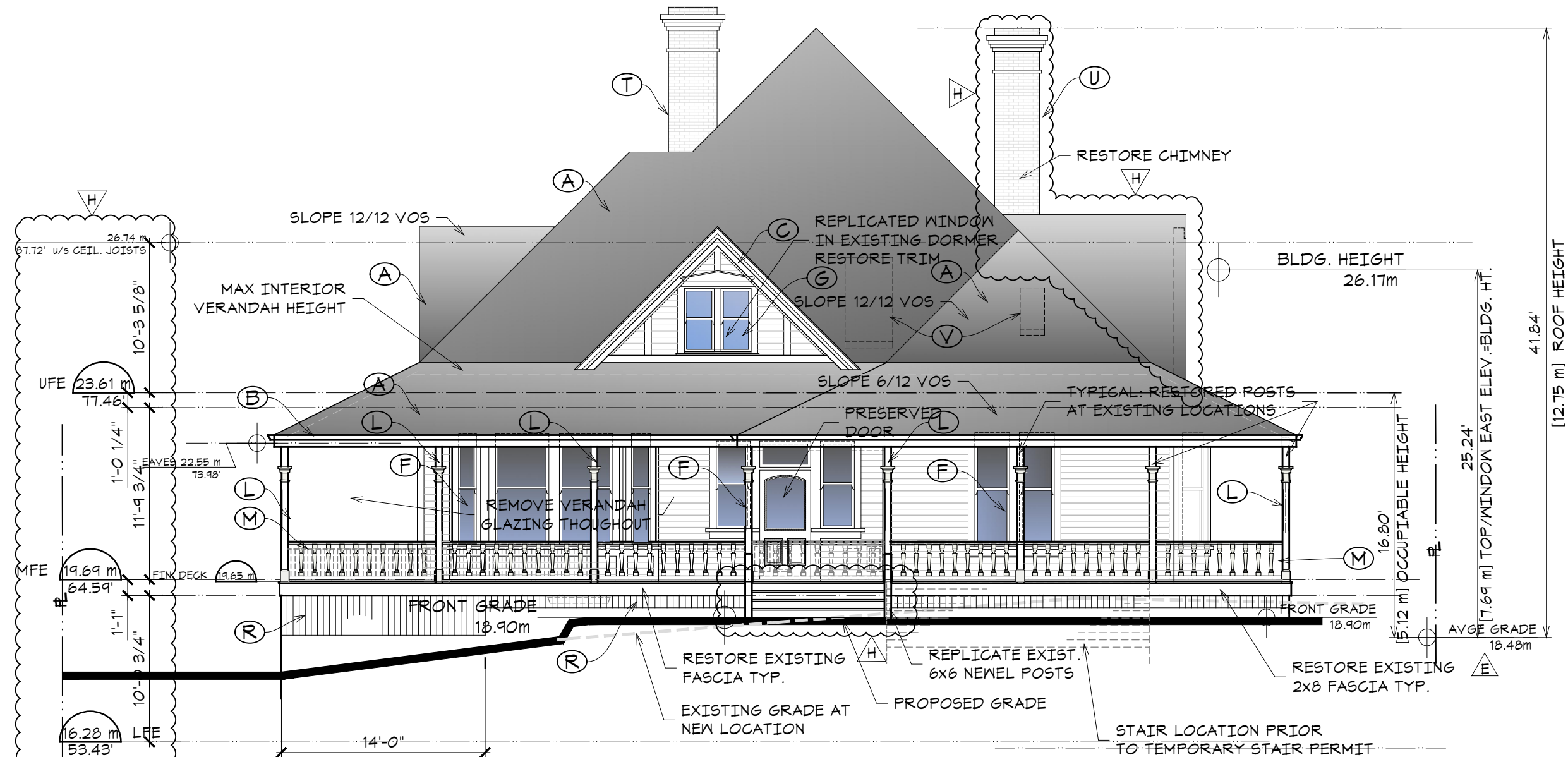


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FINISH SCHEDULE

- ## FINISH SCHEDULE
- | | |
|---|---|
| A | FIBREGLASS ROOF SHINGLES |
| B | REPLACE EXIST. GUTTER AND EXIST. 1x8 FASCIA |
| C | RESTORE EXISTING BARGEBOARD |
| D | RESTORE EXISTING 1x6 HORIZ. DROP SIDING AND TRIMS |
| E | REPLICATE HORIZ. SIDING & CORNER TRIMS TO MATCH EXISTING |
| F | RESTORE EXISTING WINDOWS PER PLAN SHOWN AS "E XXXX" |
| G | REPLICATE WINDOWS PER PLAN SHOWN AS SIZE "XXXX" |
| H | RESTORE EXISTING EXTERIOR WINDOW AND DOOR TRIM, CORNICES, SILLS, AND APRONS |
| J | REPLICATE EXTERIOR WINDOW AND DOOR TRIM, CORNICES, SILLS, AND APRONS |
| K | REPLICATE STYLE OF OUTER VERANDAH WINDOWS c/w TRUE DIVIDED LIGHTS c/w 2x SEPARATED MULLIONS |
| L | RESTORE OR REPLACE ALL EXISTING 6x6 POSTS AND CAPITAL AND BASE TRIMS c/w MOULDINGS. |
| M | RESTORE OR REPLACE ALL BALUSTERS, HANDRAILS, AND FOOTRAILS |
| N | REPLICATE STYLE OF HANDRAIL, BALUSTERS, AND FOOTRAIL ON EACH SIDE OF STAIR |
| P | NEW DECK EDGE NOSING |
| Q | REPLICATED 2x8 DECK FASCIA |
| R | RESTORE VERTICAL 1x6 SIDING TO DECK FACE |
| S | REPLICATE VERTICAL 1x6 SIDING ON DECK FACE |
| T | PRESERVE EXISTING CHIMNEY WITH EXISTING BRICKS |
| U | RESTORE EXISTING CHIMNEY |
| V | REMOVE SKYLIGHT AND PATCH TO ADJACENT SURFACES PER BCABC STANDARDS |
| W | NEW SKYLITE |
| X | RELOCATE DORMER FROM FORMER WEST WING |
| Y | REMOVE EXISTING SHED DORMER, REPLICATE EXISTING GABLE END DORMER |

REFER TO SK-1.16
FOR COLOURS ONLY



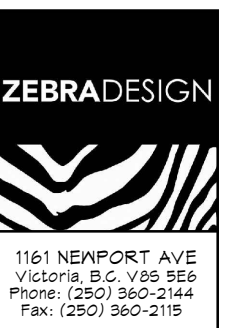
LOT 1 ANNANDALE
WEST ELEVATION PROPOSED

SCALE 1:100

REVISÉD 03.05.26

HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION

SK-1.8





LOT 1 ANNANDALE
NORTH ELEVATION EXISTING
SCALE 1:100

ISSUED XX

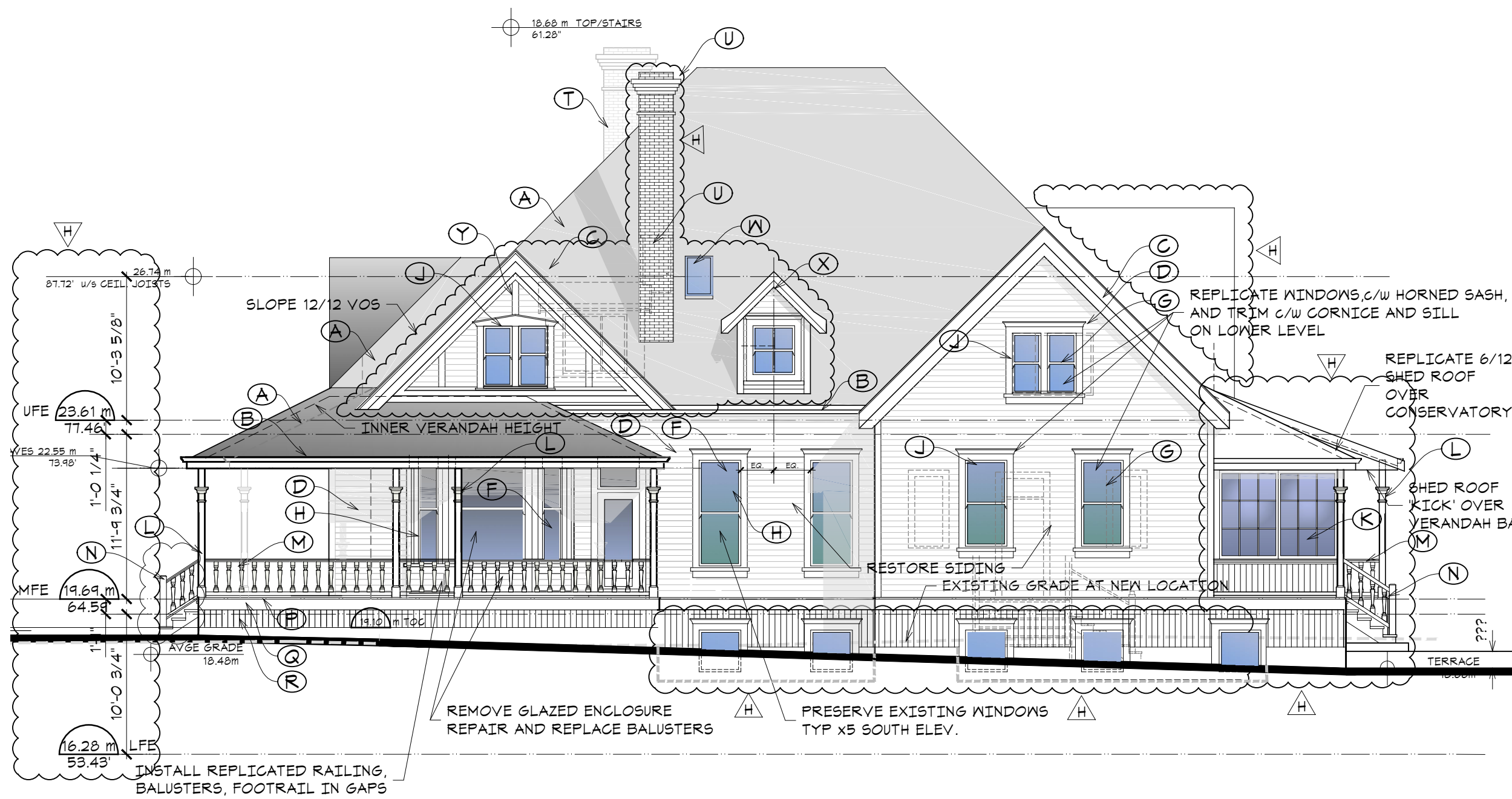
HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION

SK-1.9



FINISH SCHEDULE

- A FIBREGLASS ROOF SHINGLES
- B REPLACE EXIST. GUTTER AND EXIST. 1x8 FASCIA
- C RESTORE EXISTING BARGEBOARD
- D RESTORE EXISTING 1x6 HORIZ. DROP SIDING AND TRIMS
- E REPLICATE HORIZ. SIDING & CORNER TRIMS TO MATCH EXISTING
- F RESTORE EXISTING WINDOWS PER PLAN SHOWN AS "E XXXX"
- G REPLICATE WINDOWS PER PLAN SHOWN AS SIZE "XXXX"
- H RESTORE EXISTING EXTERIOR WINDOW AND DOOR TRIM, CORNICES, SILLS, AND APRONS
- J REPLICATE EXTERIOR WINDOW AND DOOR TRIM, CORNICES, SILLS, AND APRONS
- K REPLICATE STYLE OF OUTER VERANDAH WINDOWS c/w TRUE DIVIDED LIGHTS c/w 2X SEPARATED MULLIONS
- L RESTORE OR REPLACE ALL EXISTING 6x6 POSTS AND CAPITAL AND BASE TRIMS c/w MOULDINGS.
- M RESTORE OR REPLACE ALL BALUSTERS, HANDRAILS, AND FOOTRAILS
- N REPLICATE STYLE OF HANDRAIL, BALUSTERS, AND FOOTRAIL ON EACH SIDE OF STAIR
- P NEW DECK EDGE NOSING
- Q REPLICATED 2x8 DECK FASCIA
- R RESTORE VERTICAL 1x6 SIDING TO DECK FACE
- S REPLICATE VERTICAL 1x6 SIDING ON DECK FACE
- T PRESERVE EXISTING CHIMNEY WITH EXISTING BRICKS
- U RESTORE EXISTING CHIMNEY
- V REMOVE SKYLIGHT AND PATCH TO ADJACENT SURFACES PER BCABC STANDARDS
- W NEW SKYLITE
- X RELOCATE DORMER FROM FORMER WEST WING
- Y REMOVE EXISTING SHED DORMER, REPLICATE EXISTING GABLE END DORMER



REFER TO SK-1.16
FOR COLOURS ONLY

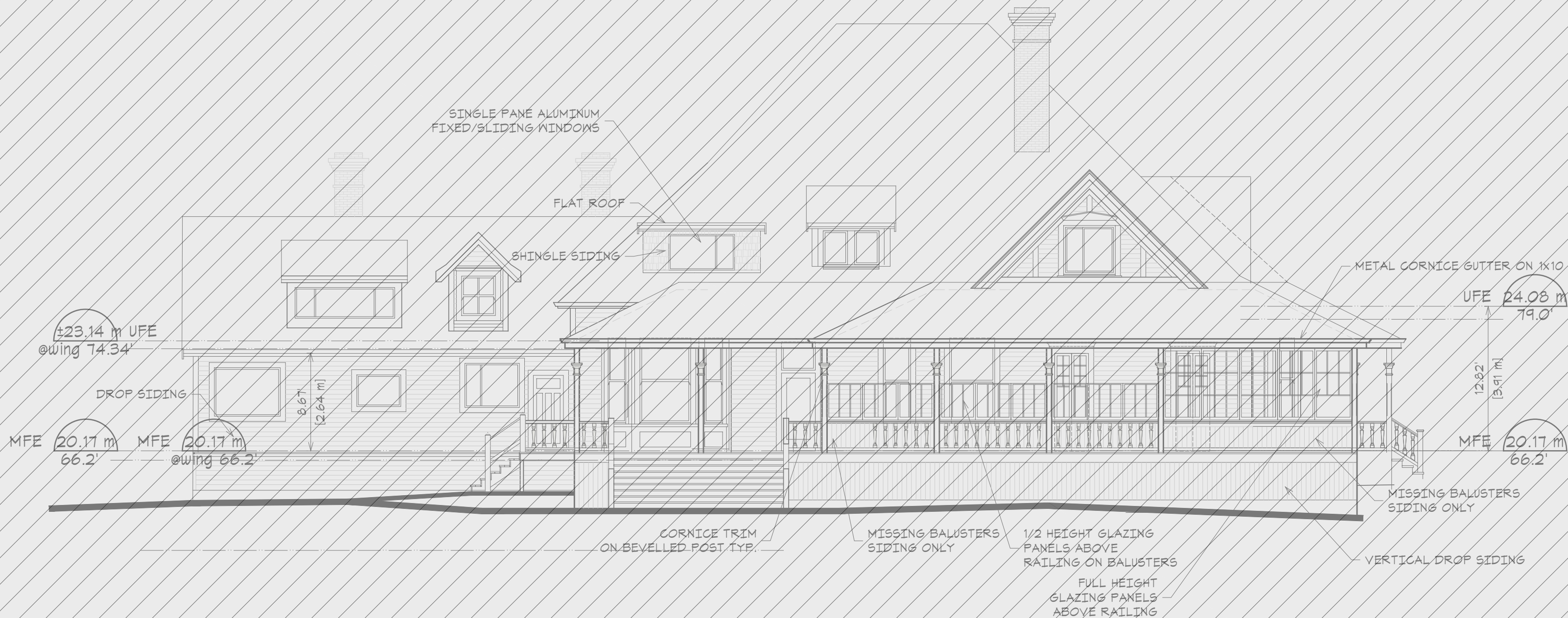
LOT 1 ANNANDALE
SOUTH ELEVATION PROPOSED
SCALE 1:100

REV. 03.05.26

HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION
SK-1.10

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LOT 1 ANNANDALE
SOUTH ELEVATION EXISTING

SCALE 1:100

ISSUED XX

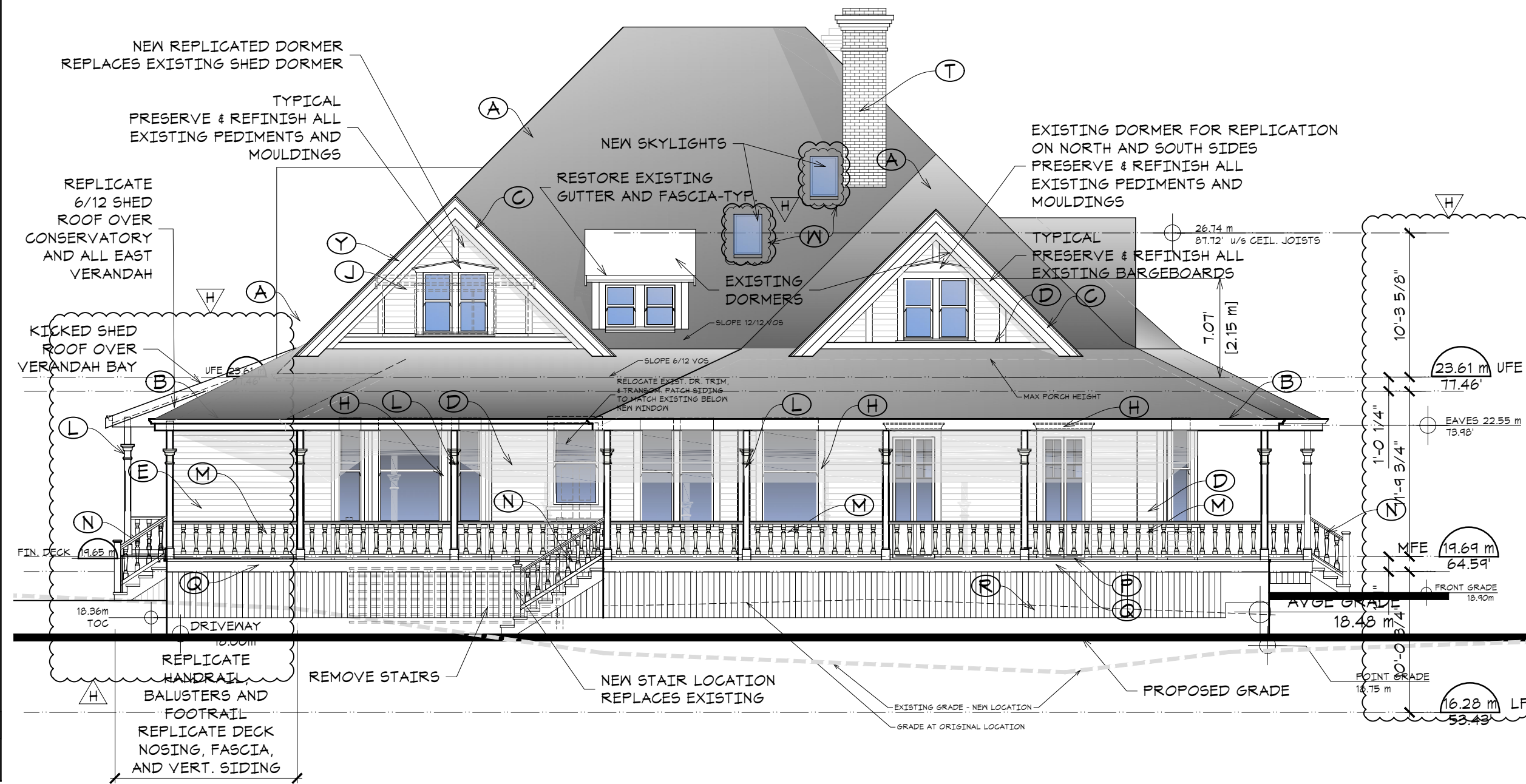
HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION

SK-1.11



FINISH SCHEDULE

- A FIBREGLASS ROOF SHINGLES
- B REPLACE EXIST. GUTTER AND EXIST. 1x8 FASCIA
- C RESTORE EXISTING BARGEBOARD
- D RESTORE EXISTING 1x6 HORIZ. DROP SIDING AND TRIMS
- E REPLICATE HORIZ. SIDING & CORNER TRIMS TO MATCH EXISTING
- F RESTORE EXISTING WINDOWS PER PLAN SHOWN AS "E XXXX"
- G REPLICATE WINDOWS PER PLAN SHOWN AS SIZE "XXXX"
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- N REPLICATE STYLE OF HANDRAIL, BALUSTERS, AND FOOTRAIL ON EACH SIDE OF STAIR
- P NEW DECK EDGE NOSING
- Q REPLICATED 2x8 DECK FASCIA
- R RESTORE VERTICAL 1x6 SIDING TO DECK FACE
- S REPLICATE VERTICAL 1x6 SIDING ON DECK FACE
- T PRESERVE EXISTING CHIMNEY WITH EXISTING BRICKS
- U RESTORE EXISTING CHIMNEY
- V REMOVE SKYLIGHT AND PATCH TO ADJACENT SURFACES PER BCABC STANDARDS
- W NEW SKYLITE
- X RELOCATE DORMER FROM FORMER WEST WING
- Y REMOVE EXISTING SHED DORMER, REPLICATE EXISTING GABLE END DORMER



REFER TO SK-1.16
FOR COLOURS ONLY

LOT 1 ANNANDALE
NORTH ELEVATION PROPOSED
SCALE 1/8"=1'-0"

REV. 03.05.26

HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION
SK-1.12

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LOT 1 ANNANDALE
WEST ELEVATION EXISTING
SCALE 1/8"=1'-0"

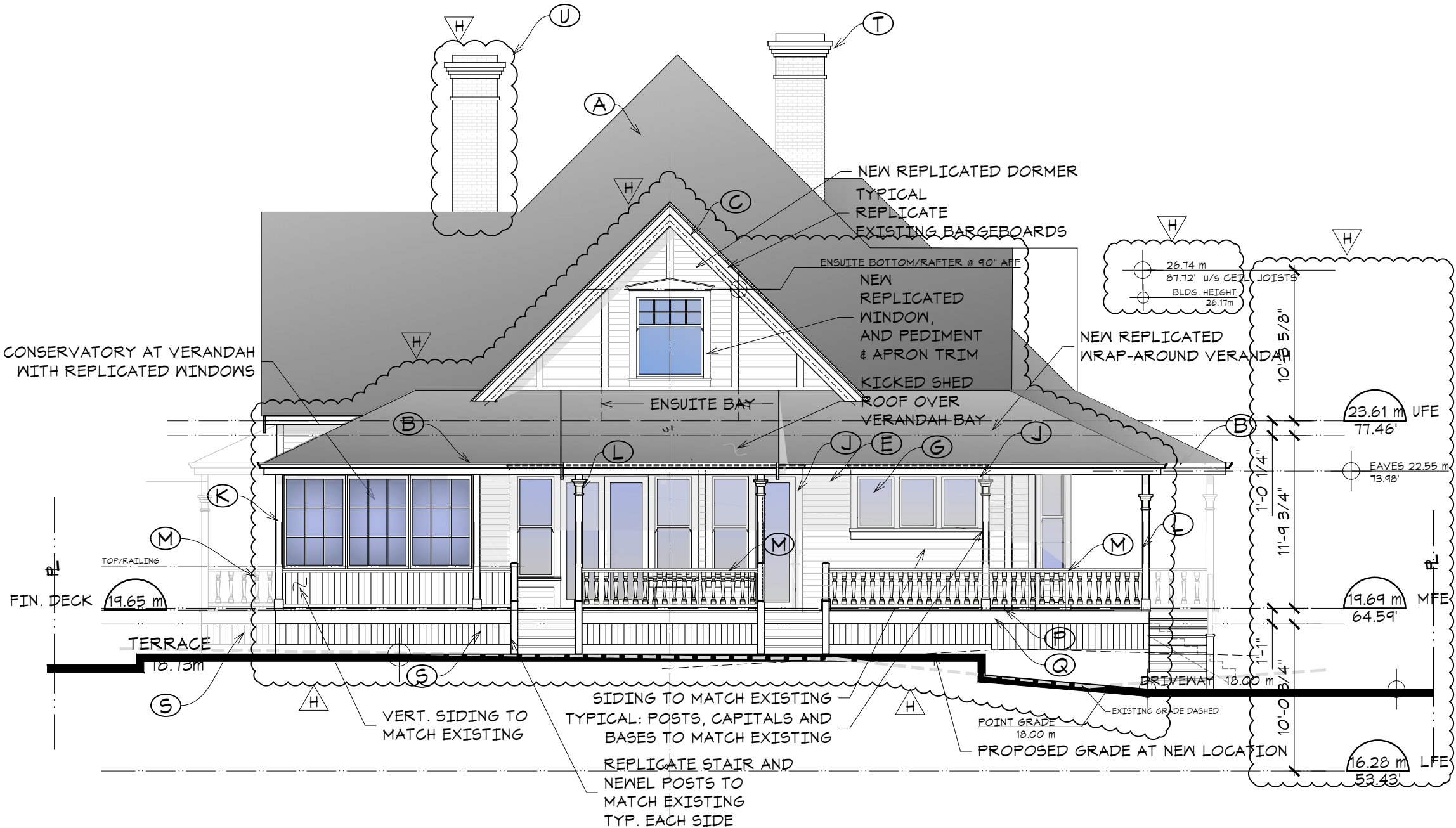
ISSUED XX

HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION

SK-1.13



FINISH SCHEDULE	
A	FIBREGLASS ROOF SHINGLES
B	REPLACE EXIST. GUTTER AND EXIST. 1x8 FASCIA
C	RESTORE EXISTING BARGEBOARD
D	RESTORE EXISTING 1x6 HORIZ. DROP SIDING AND TRIMS
E	REPLICATE HORIZ. SIDING & CORNER TRIMS TO MATCH EXISTING
F	RESTORE EXISTING WINDOWS PER PLAN SHOWN AS "E XXXX"
G	REPLICATE WINDOWS PER PLAN SHOWN AS SIZE "XXXX"
H	RESTORE EXISTING EXTERIOR WINDOW AND DOOR TRIM, CORNICES, SILLS, AND APRONS
J	REPLICATE EXTERIOR WINDOW AND DOOR TRIM, CORNICES, SILLS, AND APRONS
K	REPLICATE STYLE OF OUTER VERANDAH WINDOWS c/w TRUE DIVIDED LIGHTS c/w 2X SEPARATED MULLIONS
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Q	REPLICATED 2x8 DECK FASCIA
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S	REPLICATE VERTICAL 1x6 SIDING ON DECK FACE
T	PRESERVE EXISTING CHIMNEY WITH EXISTING BRICKS
U	RESTORE EXISTING CHIMNEY
V	REMOVE SKYLIGHT AND PATCH TO ADJACENT SURFACES PER BCABC STANDARDS
W	NEW SKYLITE
X	RELOCATE DORMER FROM FORMER WEST WING
Y	REMOVE EXISTING SHED DORMER, REPLICATE EXISTING GABLE END DORMER



REFER TO SK-1.16
FOR COLOURS ONLY

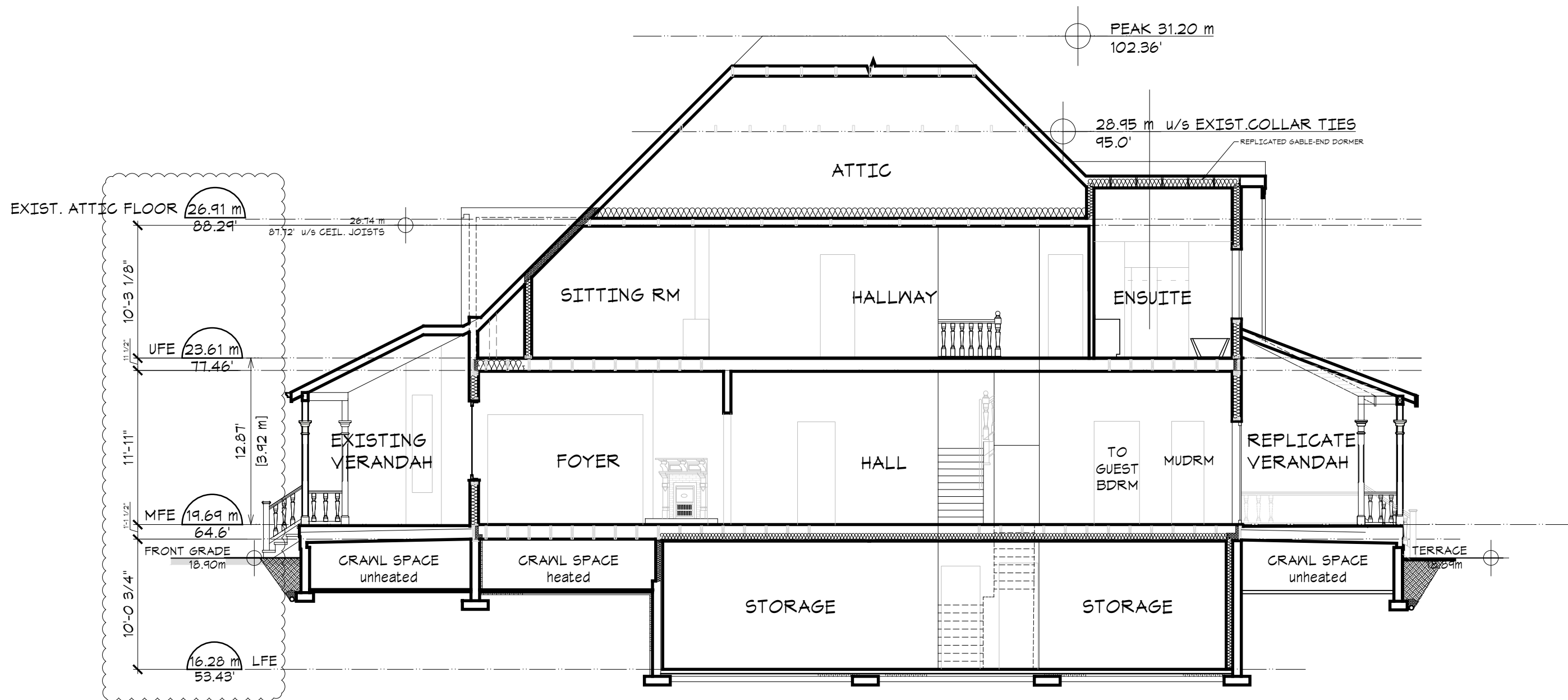
LOT 1 ANNANDALE
EAST ELEVATION PROPOSED
SCALE 1/8"=1'-0"

REV. 03.05.26

HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION
SK-1.14

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LOT 1 ANNANDALE SECTION A-A

SCALE 1:100

REVISED 02.27.26

HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION
SK-1.15

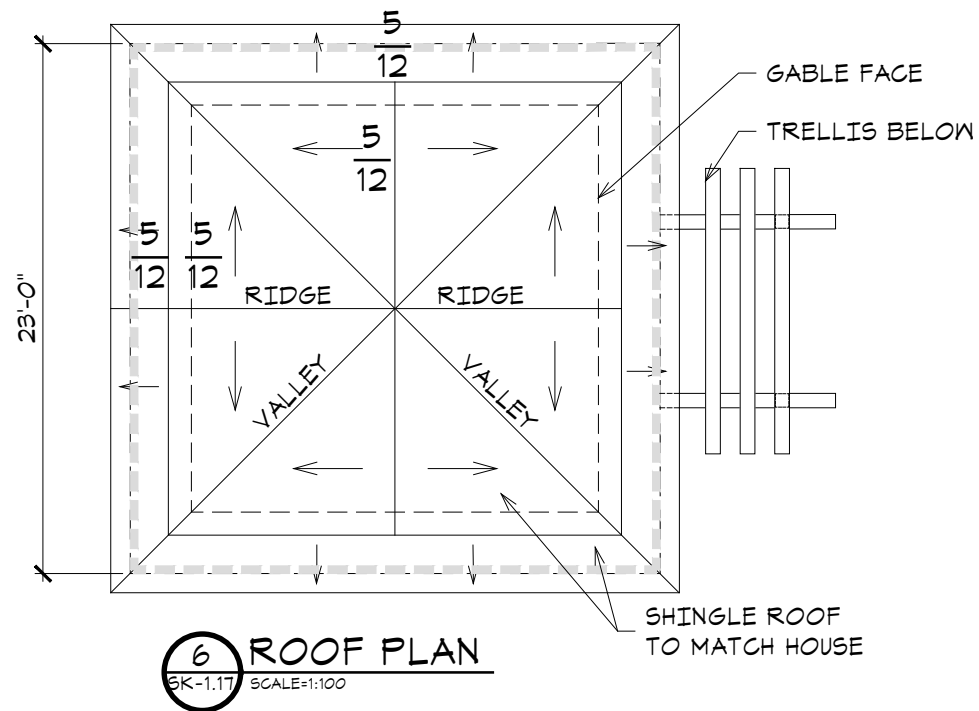
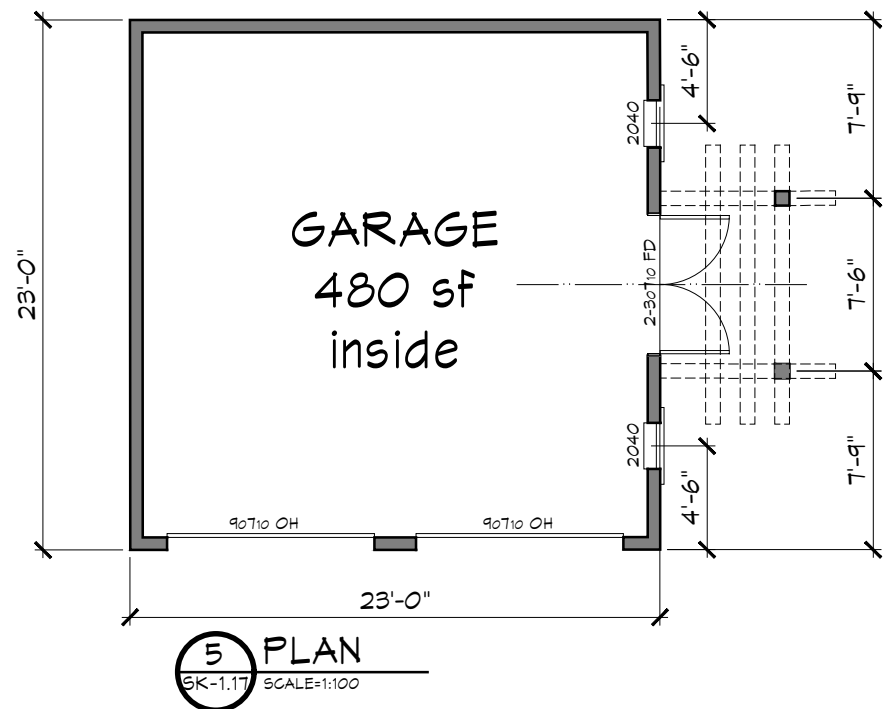
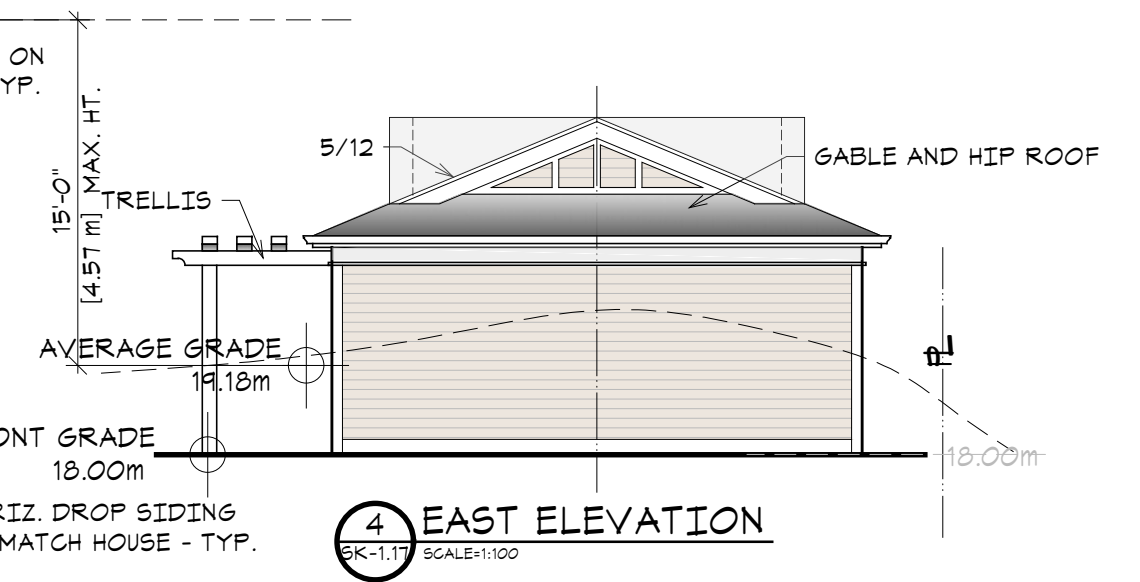
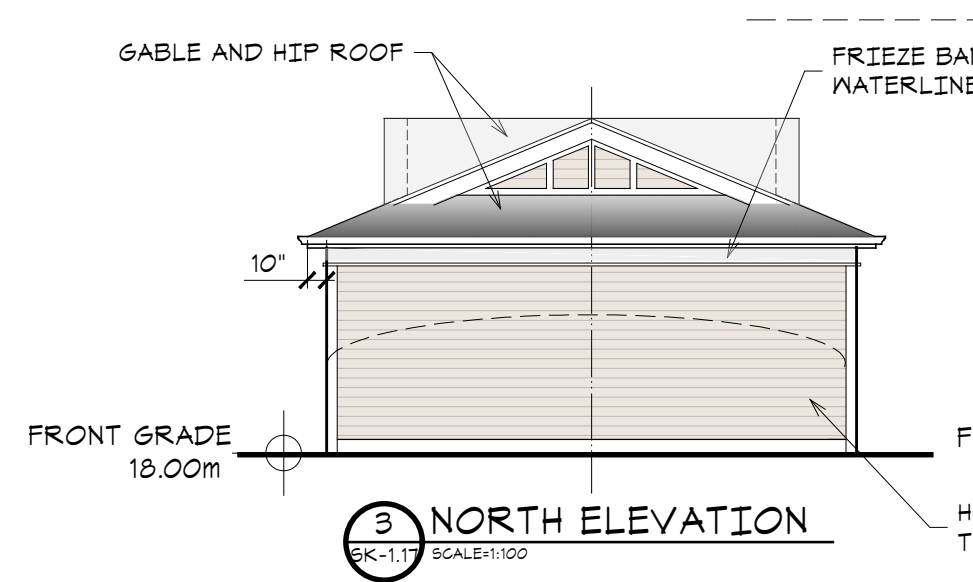
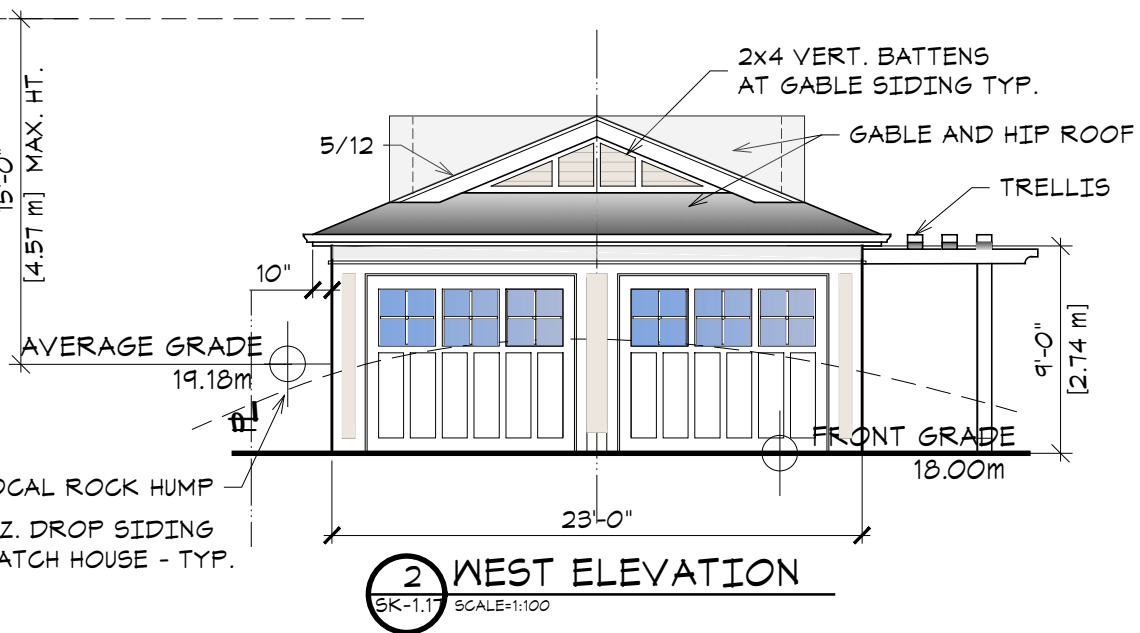
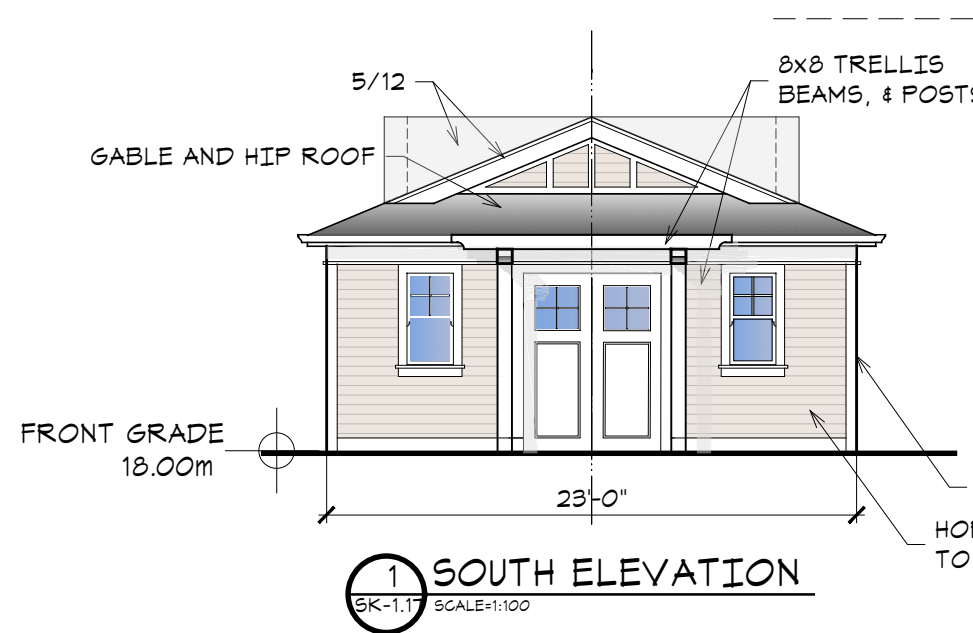


LOT 1 ANNANDALE
PROPOSED MATERIALS AND COLOURS
WEST ELEVATION EXAMPLE
SCALE 1:100

REV. 03.05.26

HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION

SK-1.16

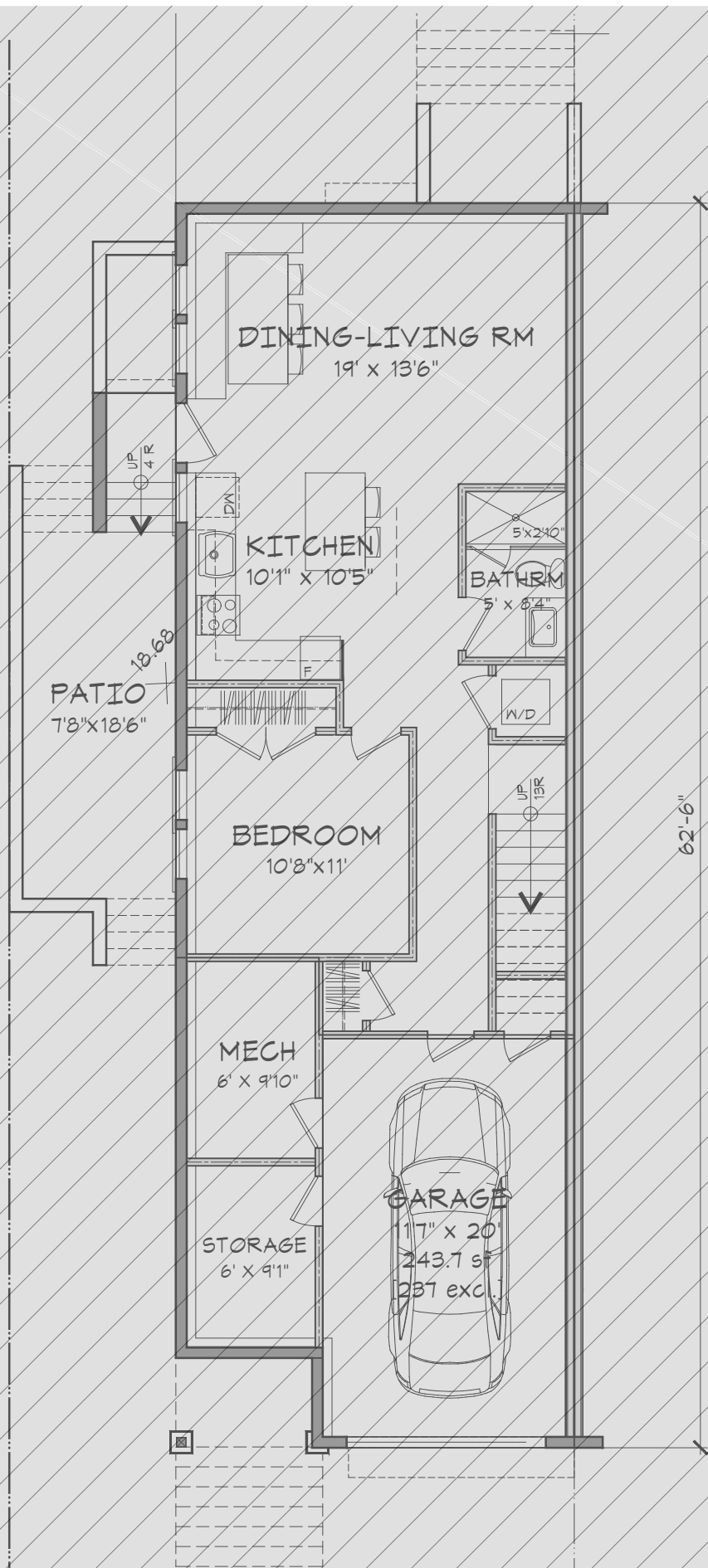


AVERAGE GRADE CALCULATION	
NATURAL GRADES SHOWN	
POINT ID	GEODETIC ELEVATION
A	19.20
B	19.35
C	19.08
D	19.07
TOTAL	76.70
AVERAGE GRADE	76.7/ 4 = 19.18

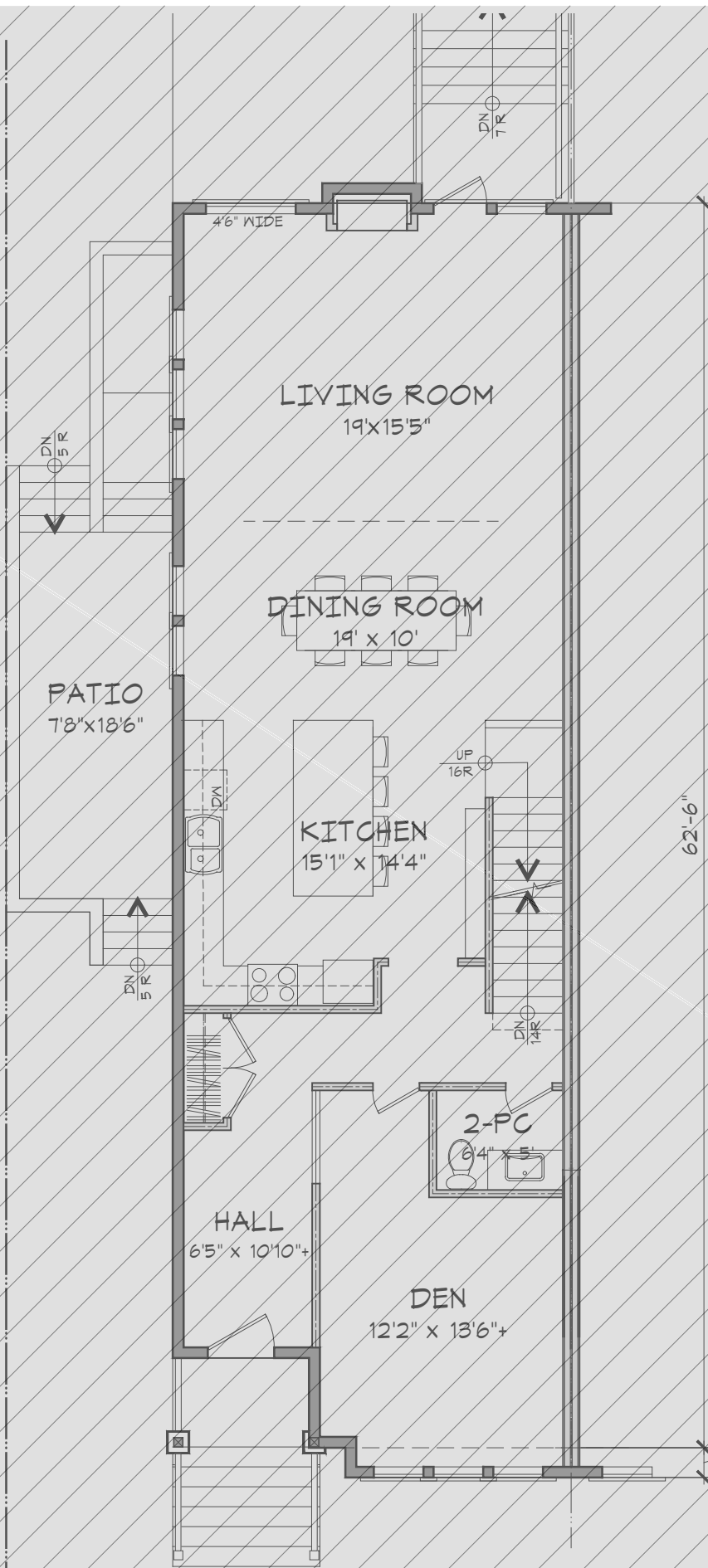
HC-166 KENDALL CHARCOAL	
OC-17 WHITE DOVE	
OC-27 BALBOA MIST	

LOT 1 ANNANDALE
GARAGE PLAN AND ELEVATIONS
SCALE 1:100
ISSUED 03.05.26

HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION
SK-1.17



1 LOWER FLOOR PLAN
SK-2.1 SCALE=1/8"=1'-0"



2 MAIN FLOOR PLAN
SK-2.1 SCALE=1/8"=1'-0"



3 UPPER FLOOR PLAN
SK-2.1 SCALE=1/8"=1'-0"

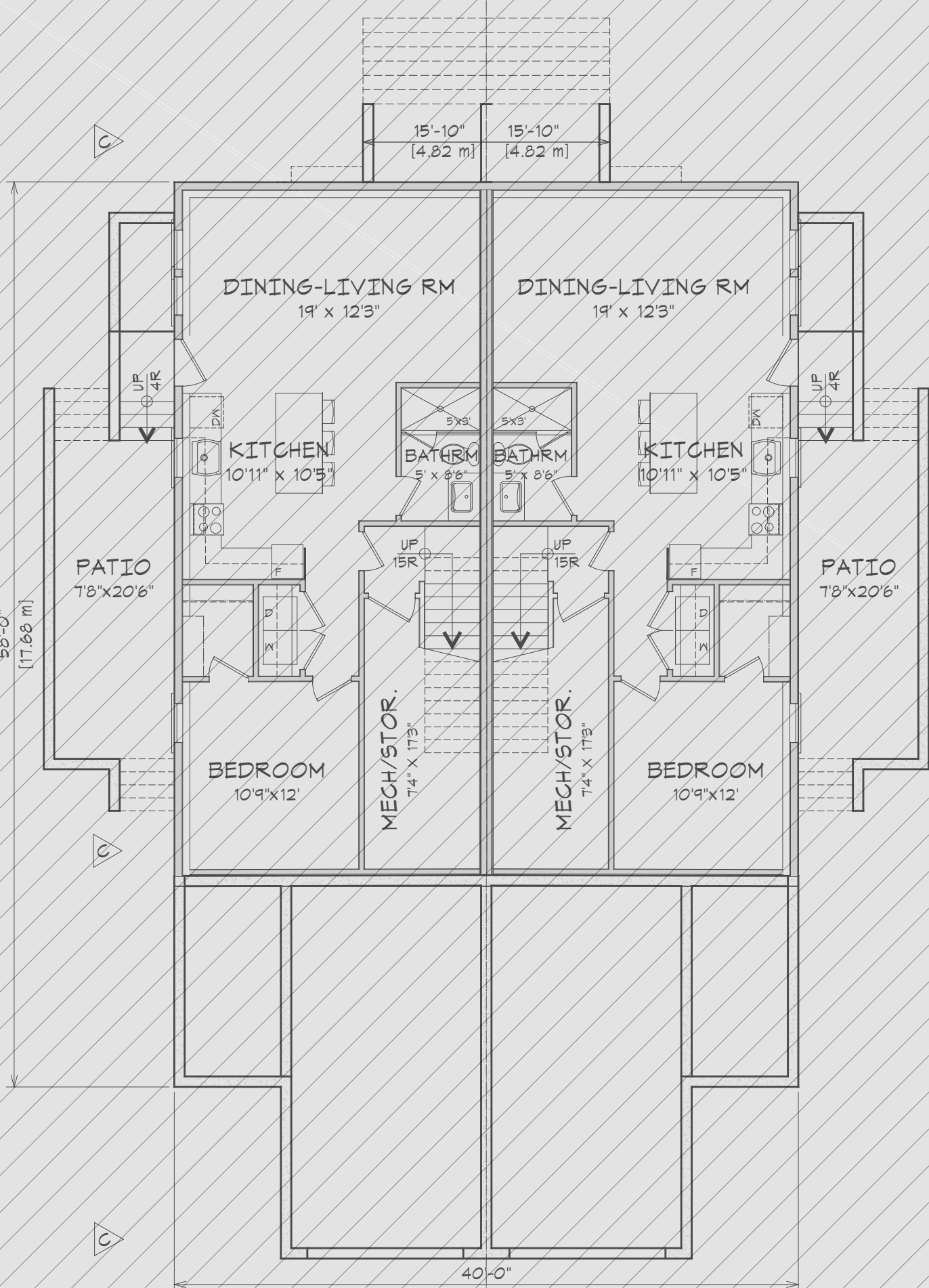
HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION

SK-2.1

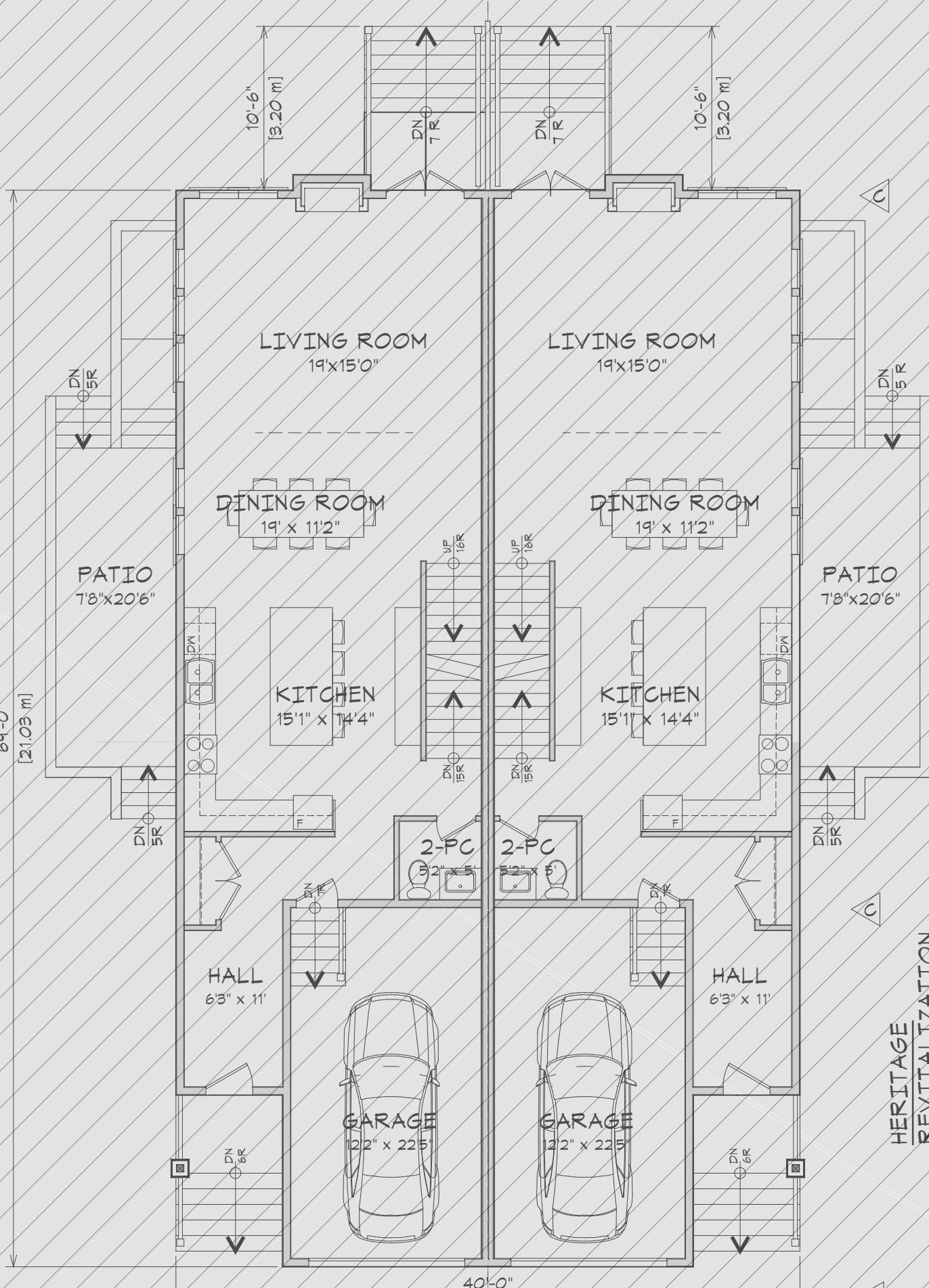
LOT 2 DUPLEX WITH SECONDARY SUITES
LOWER, MAIN, & UPPER FLOOR PLANS

ISSUED 01.10.24

SCALE 1/8"=1'-0"



1 LOWER FLOOR PLAN
SK-2.1 SCALE= 1:100



2 MAIN FLOOR PLAN
SK-2.1 SCALE=1:100

HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION

SK-2.1

LOT 2 DUPLEX WITH SECONDARY SUITES

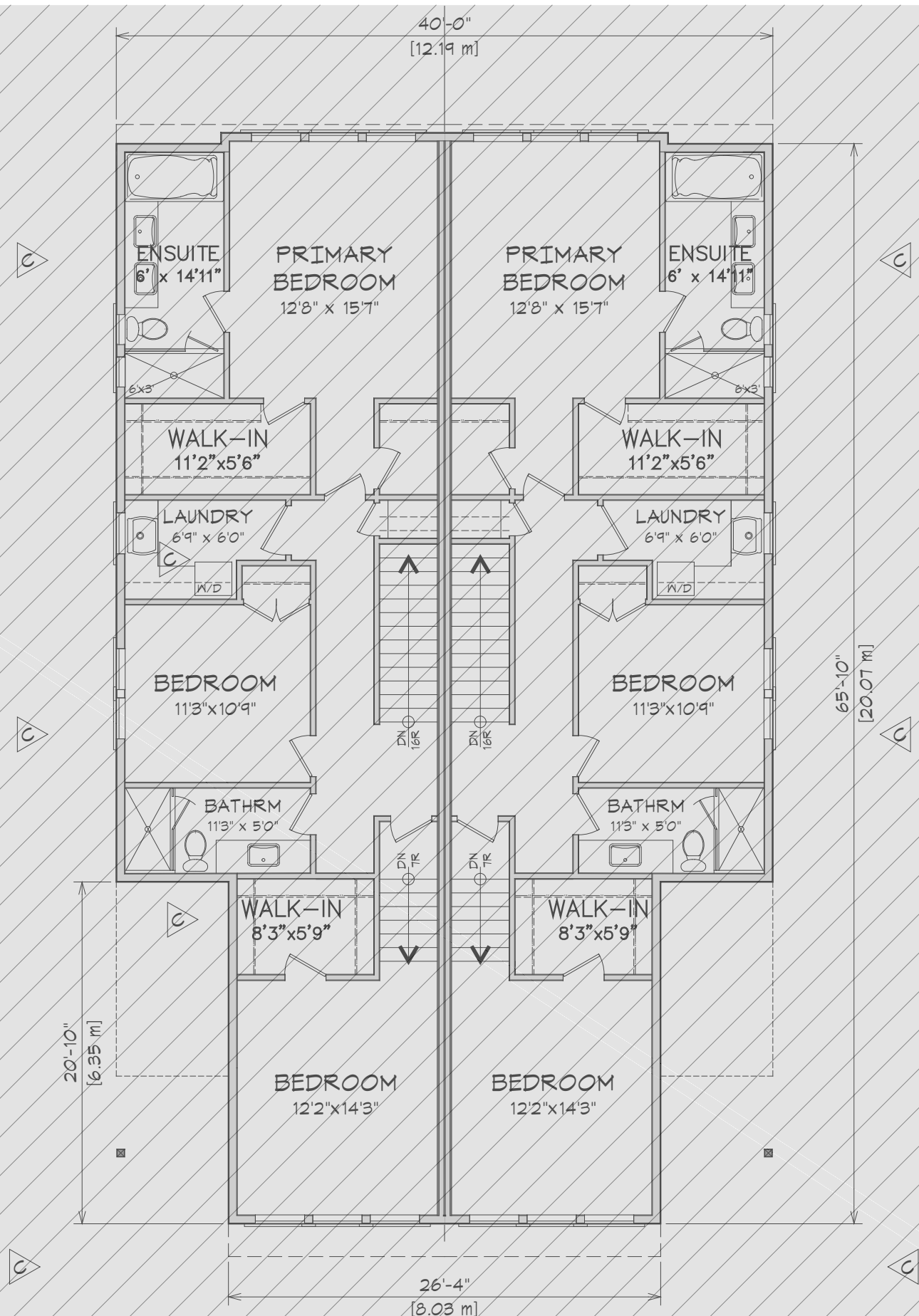
LOWER & MAIN, & FLOOR PLANS

SCALE 1:100 GARAGE AT GRADE

REVISED 06.24.24

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2 UPPER FLOOR PLAN
SK-2.2 SCALE= 1:100

HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION

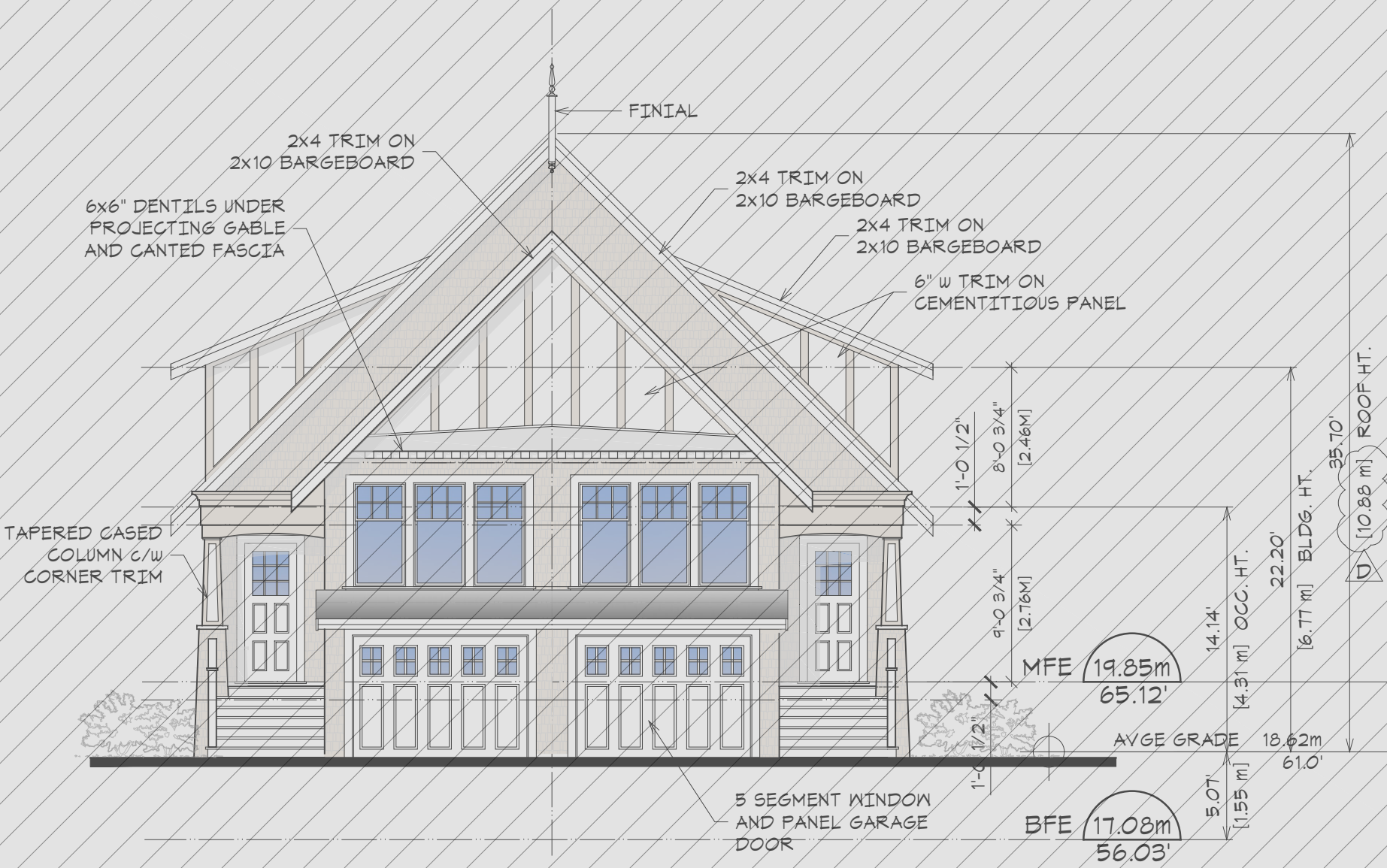
SK-2.2

LOT 2 DUPLEX WITH SECONDARY SUITES

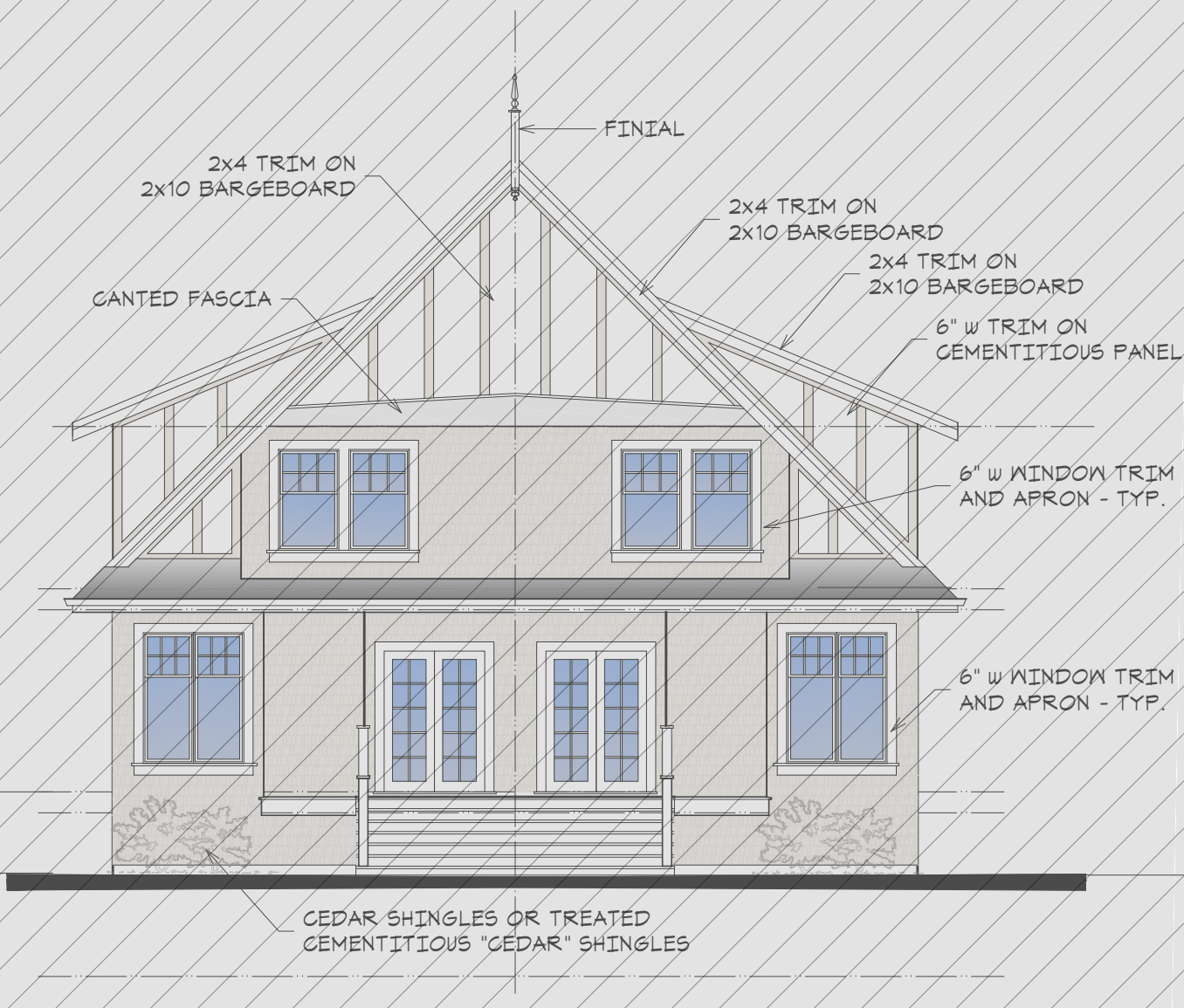
UPPER FLOOR PLAN CW BEDRM ABOVE GARAGE

SCALE 1:100 GARAGE AT GRADE

ISSUED 06.24.24



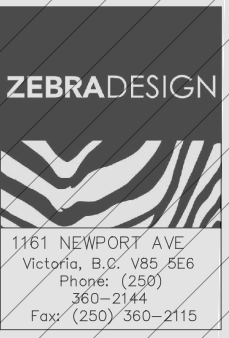
1 WEST/FRONT ELEVATION
SK-2.3 SCALE=1/8"=1'-0"

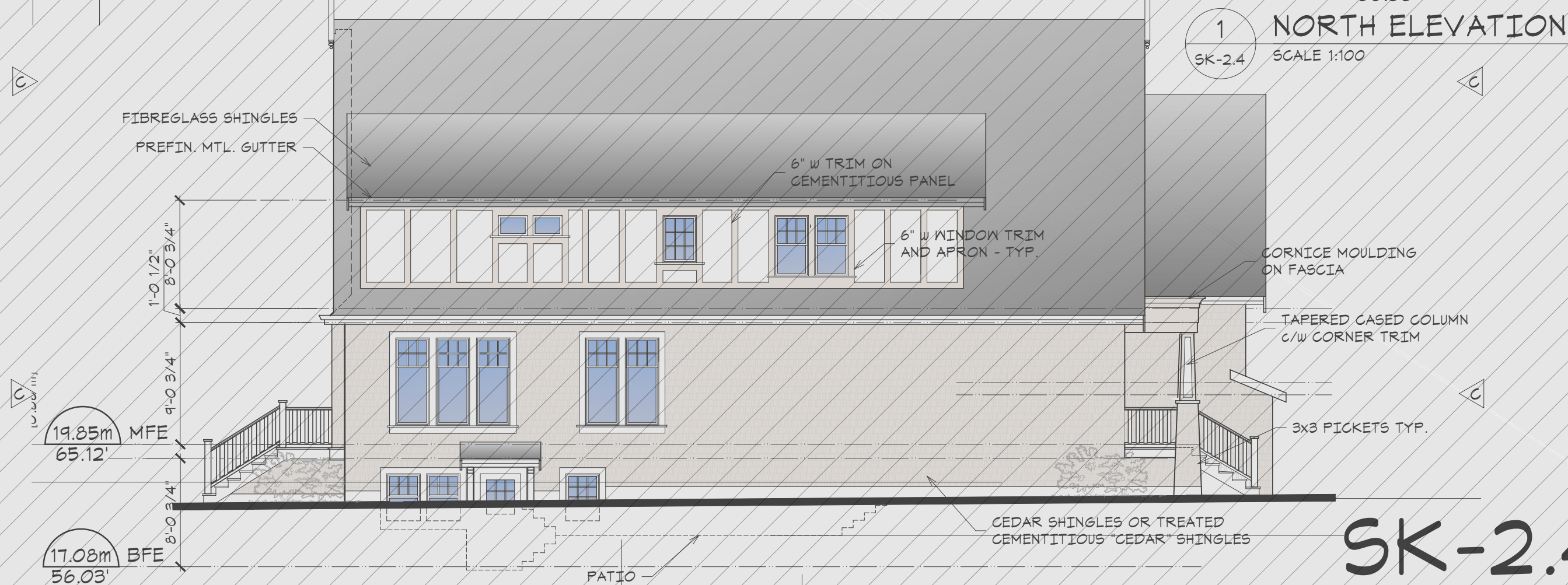
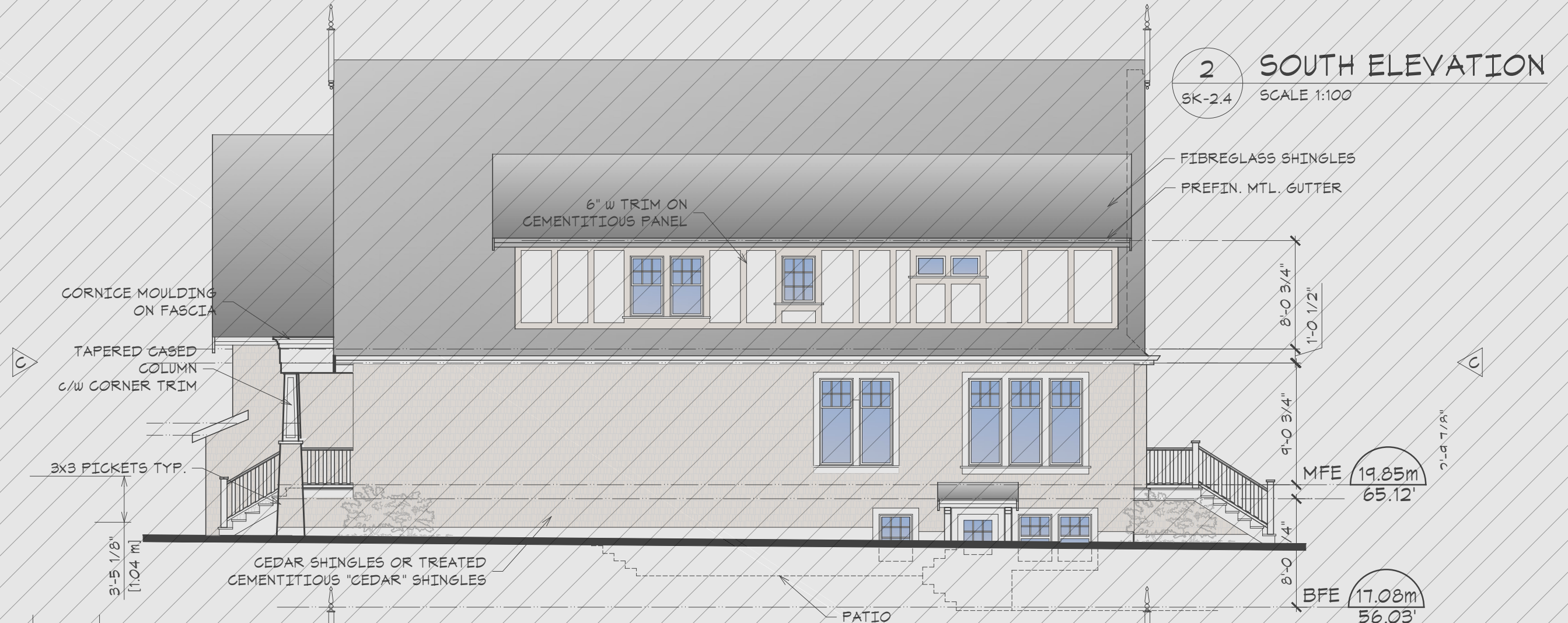


2 EAST ELEVATION
SK-2.3 SCALE=1/8"=1'-0"

LOT 2 WEST/FRONT & EAST ELEVATIONS
SCALE 1/8"=1'-0" REVISED 12.11.24

HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION
SK-2.3

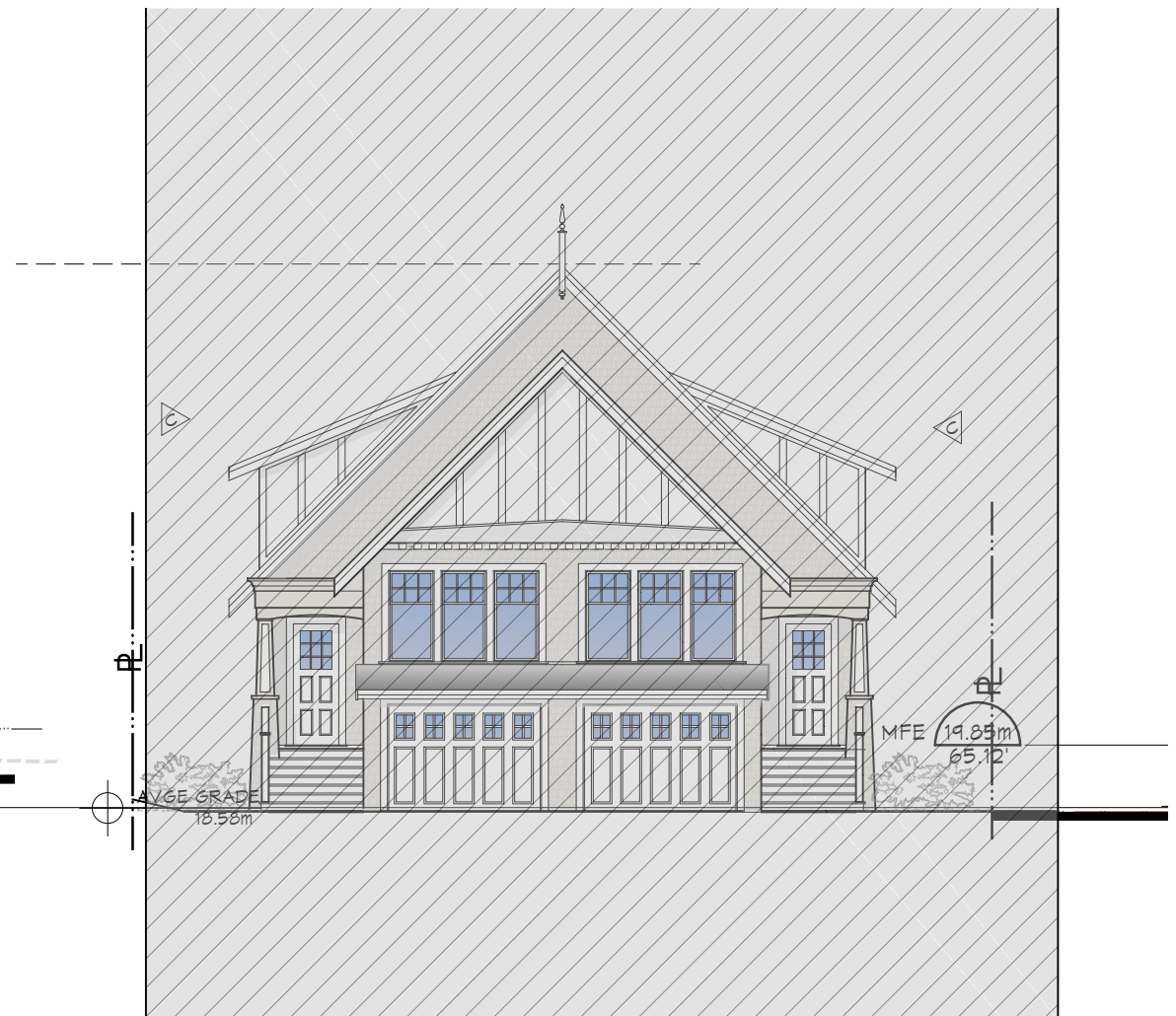
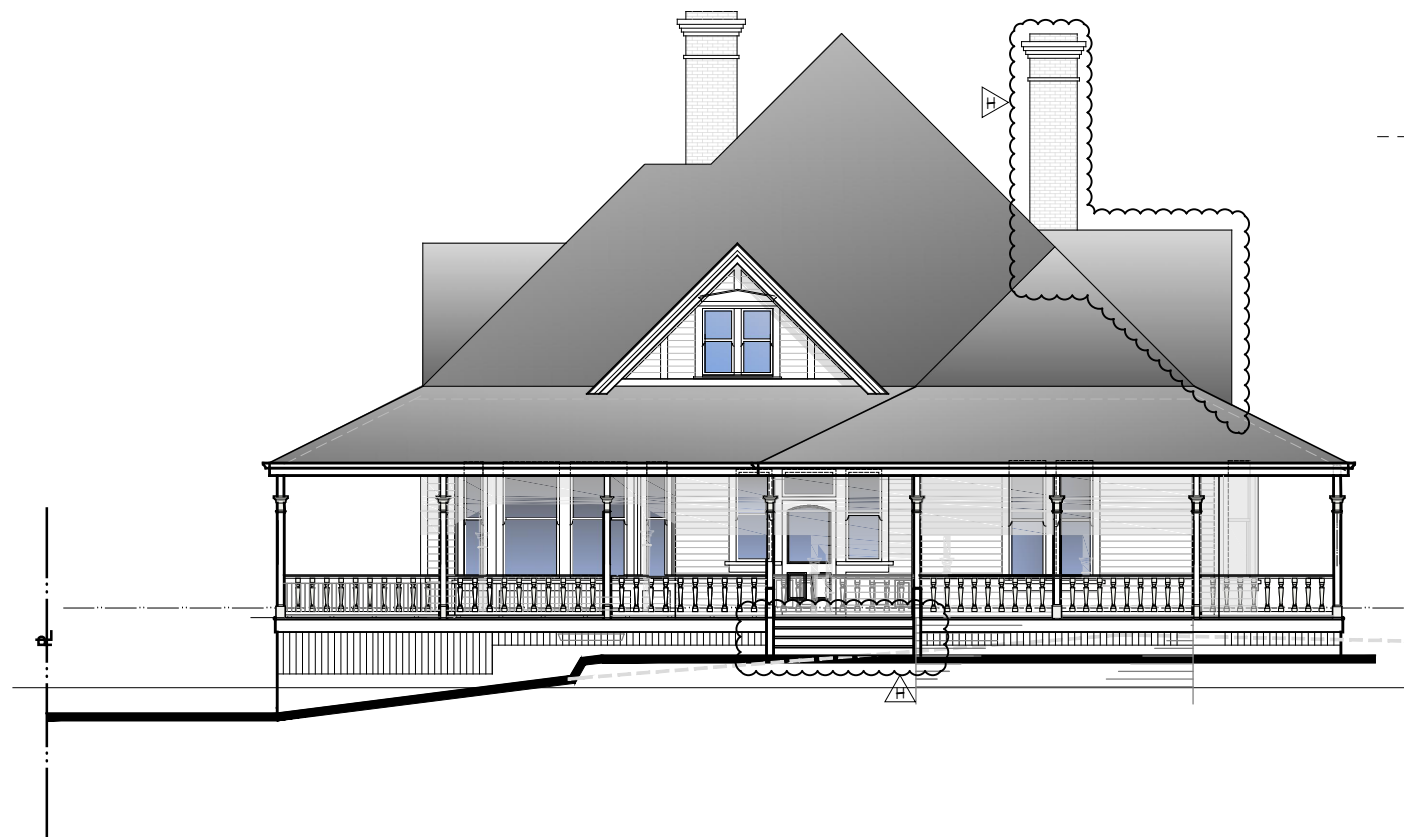




LOT 2 DUPLEX with SECONDARY SUITES
 NORTH & SOUTH ELEVATIONS
 SCALE 1:100
 REVISED 07.02.24

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 1161 NEWPORT AVE
 Victoria, B.C. V8S 5E6
 Phone: (250) 360-2144
 Fax: (250) 360-2115

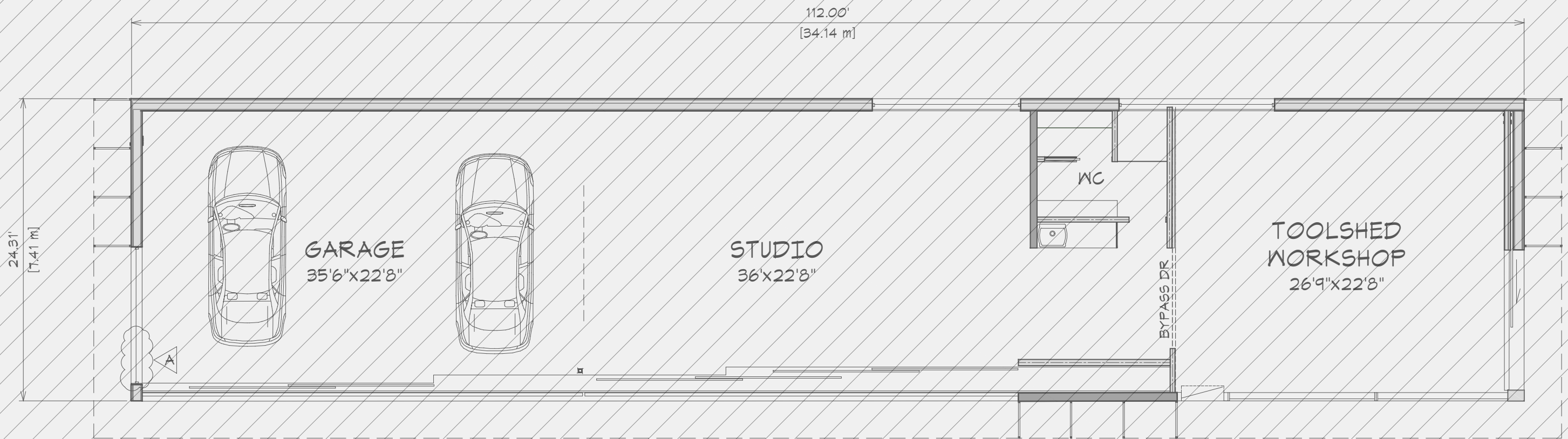
SK-2.4



LOT 2
 STREETSCAPE WITH ADJACENT LOT 1
 SCALE 1:150 REVISED LOT 1 03.05.26

HERITAGE
 REVITALIZATION
 PROPOSAL
 YORK PLACE SUBDIVISION

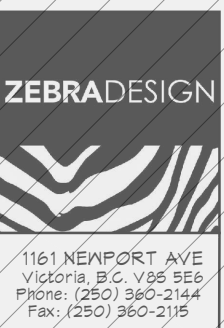
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DESIGN AND BUILDING PERMITS FOR EXISTING SFD
BUILDING AND CONVERSION OF GARAGE TO
STUDIO-GARAGE BY SIMCIC ARCHITECTURE STUDIO

LOT 3
EXISTING GARAGE-STUDIO FLOOR PLAN
SCALE 1:100
REVISED 12.12.24

HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION
SK-3.1



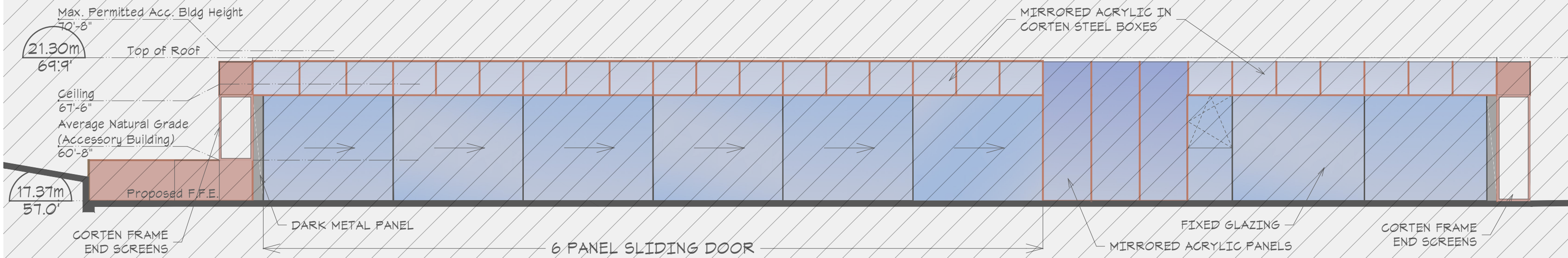


DESIGN AND BUILDING PERMITS FOR EXISTING SFD
BUILDING AND CONVERSION OF GARAGE TO
STUDIO-GARAGE BY SIMCIC ARCHITECTURE STUDIO

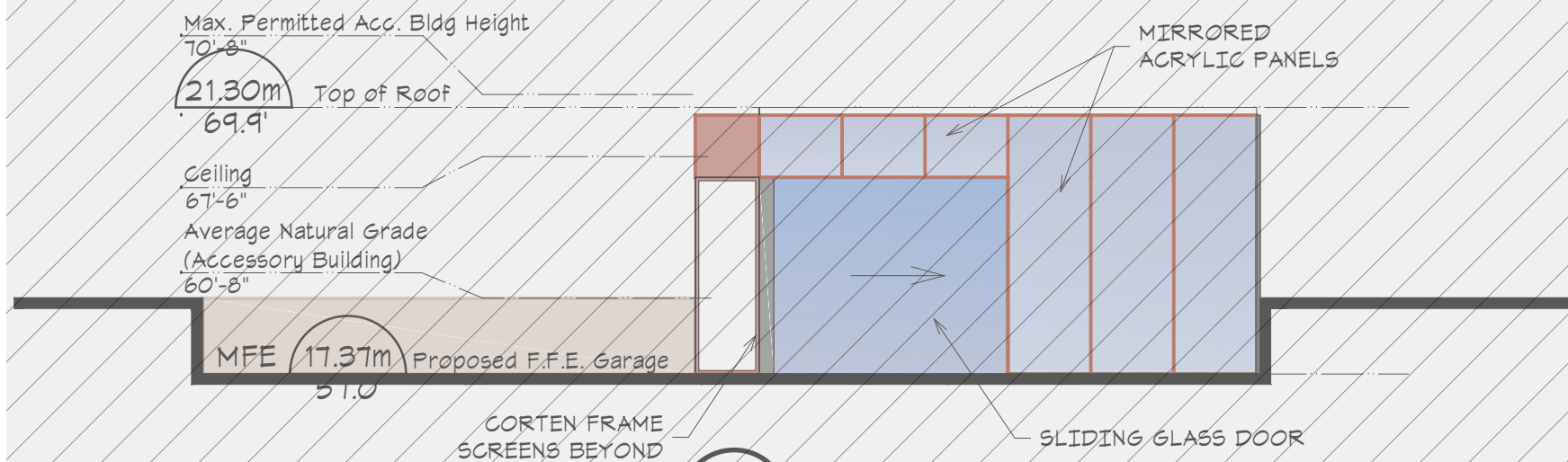
LOT 3
FLOOR PLAN - PROPOSED CONVERSION
SCALE 1:100
REVISED 12.12.24

HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION
SK-3.2





1 SOUTH ELEVATION
SK-3.3 SCALE 1:100



2 EAST ELEVATION
SK-3.3 SCALE 1:100

DESIGN AND BUILDING PERMITS FOR EXISTING SFD
BUILDING AND CONVERSION OF GARAGE TO
STUDIO-GARAGE BY SIMCIC ARCHITECTURE STUDIO

A

LOT 3

SOUTH AND EAST ELEVATIONS

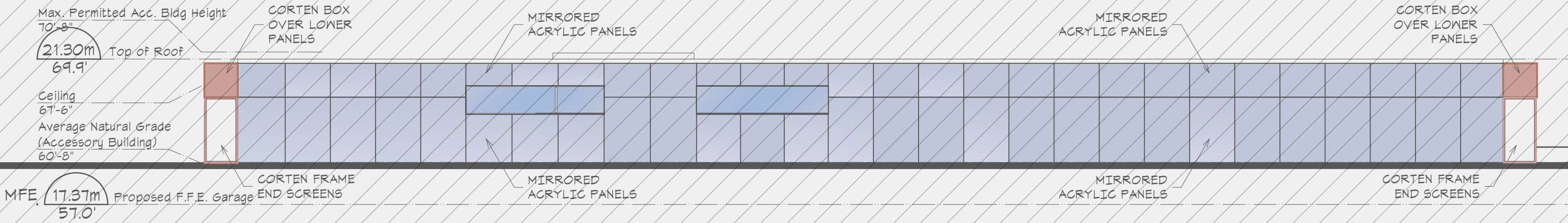
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ISSUED 12.12.24

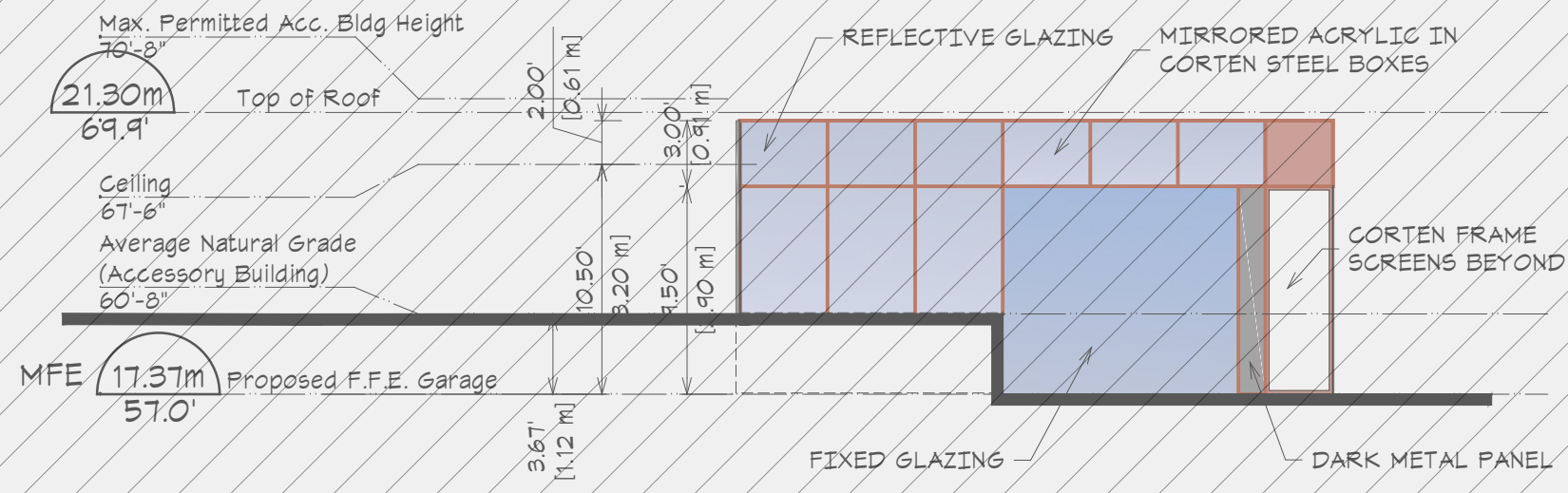
HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION

SK-3.3





1 NORTH ELEVATION
SK-3.4 SCALE 1:100



2 WEST ELEVATION
SK-3.4 SCALE 1:100

DESIGN AND BUILDING PERMITS FOR EXISTING SFD BUILDING AND CONVERSION OF GARAGE TO STUDIO-GARAGE BY SIMCIC ARCHITECTURE STUDIO

LOT 3

NORTH AND WEST ELEVATIONS

SCALE 1:100

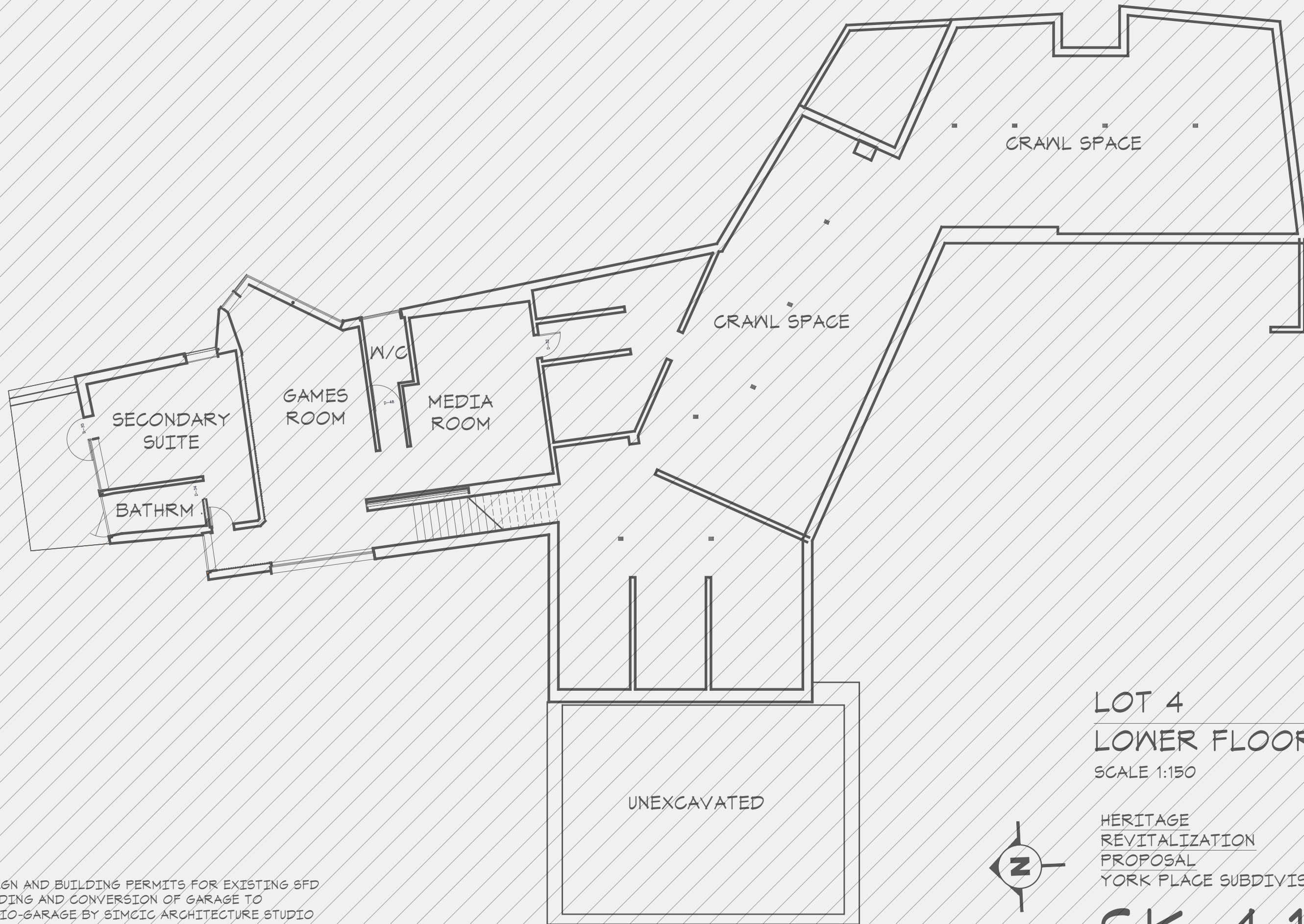
ISSUED 12.12.24

HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION

SK-3.4

ZEBRADESIGN

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DESIGN AND BUILDING PERMITS FOR EXISTING SFD
BUILDING AND CONVERSION OF GARAGE TO
STUDIO-GARAGE BY SIMCIC ARCHITECTURE STUDIO

LOT 4
LOWER FLOOR PLAN
SCALE 1:150
ISSUED 04.XX.23

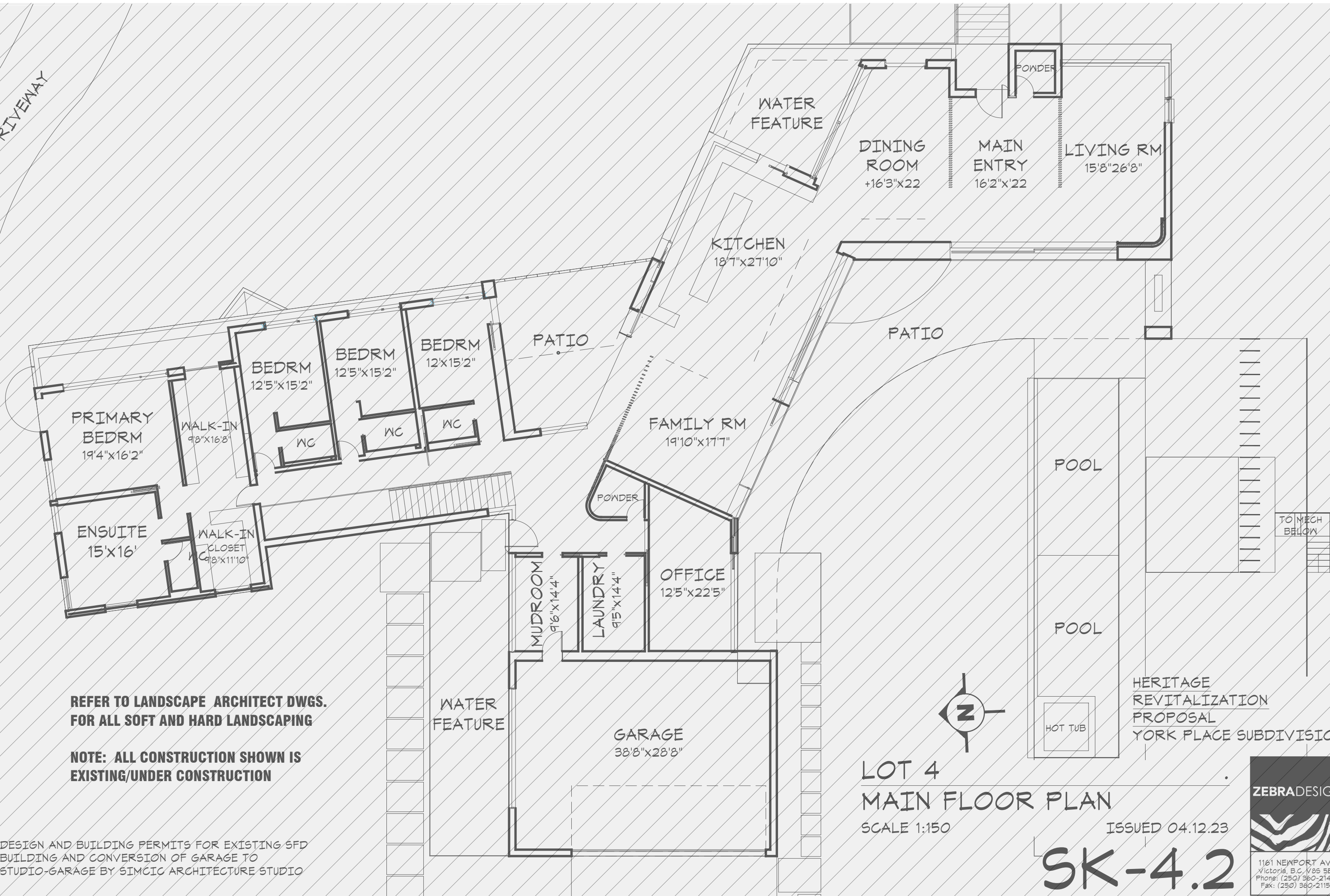


HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION

SK-4.1



DRIVEWAY



**REFER TO LANDSCAPE ARCHITECT DWGS.
FOR ALL SOFT AND HARD LANDSCAPING**

NOTE: ALL CONSTRUCTION SHOWN IS EXISTING/UNDER CONSTRUCTION

DESIGN AND BUILDING PERMITS FOR EXISTING SFD BUILDING AND CONVERSION OF GARAGE TO STUDIO-GARAGE BY SIMCIC ARCHITECTURE STUDIO

LOT 4

MAIN FLOOR PLAN

SCALE 1:150

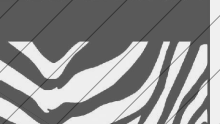
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ISSUED 04.12.23

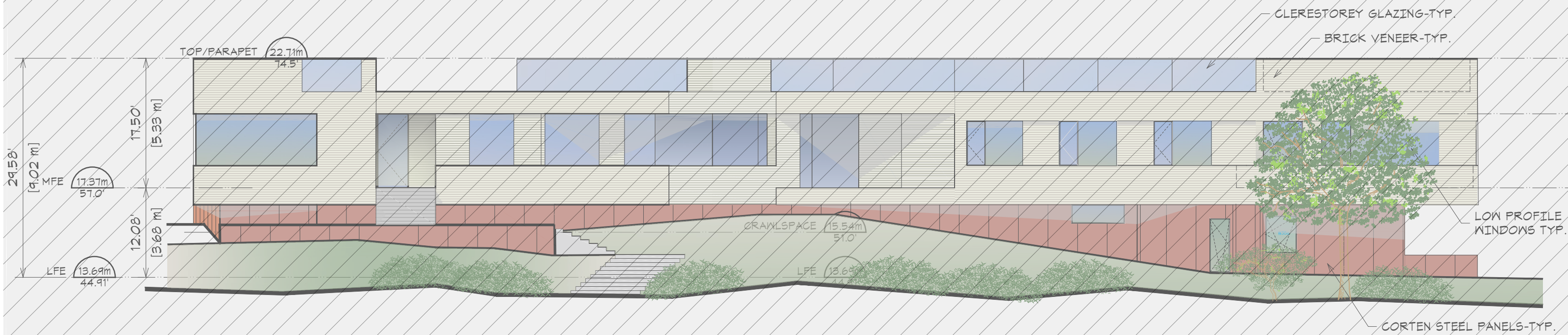
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HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION

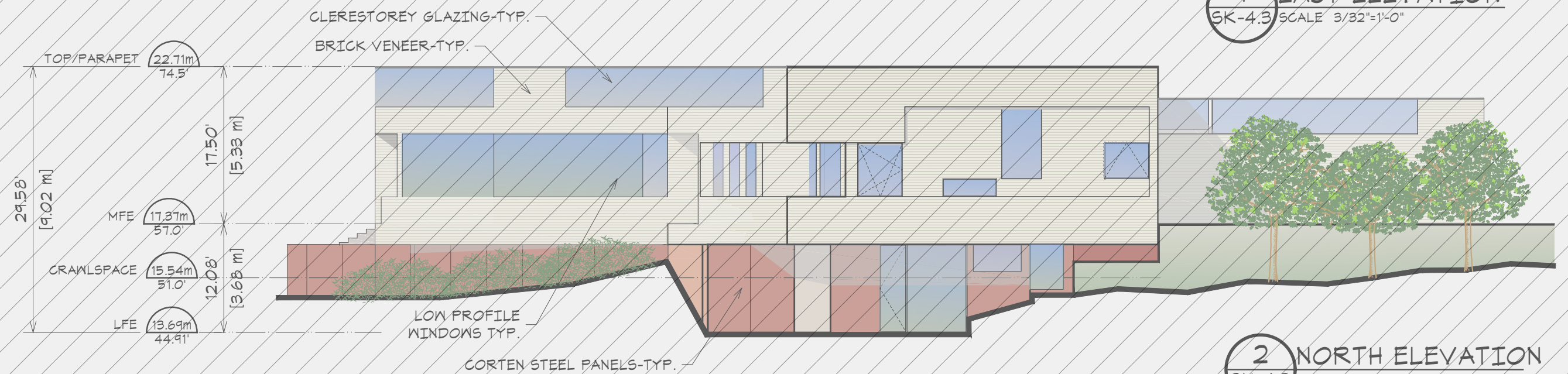
ZEBRADESIGN



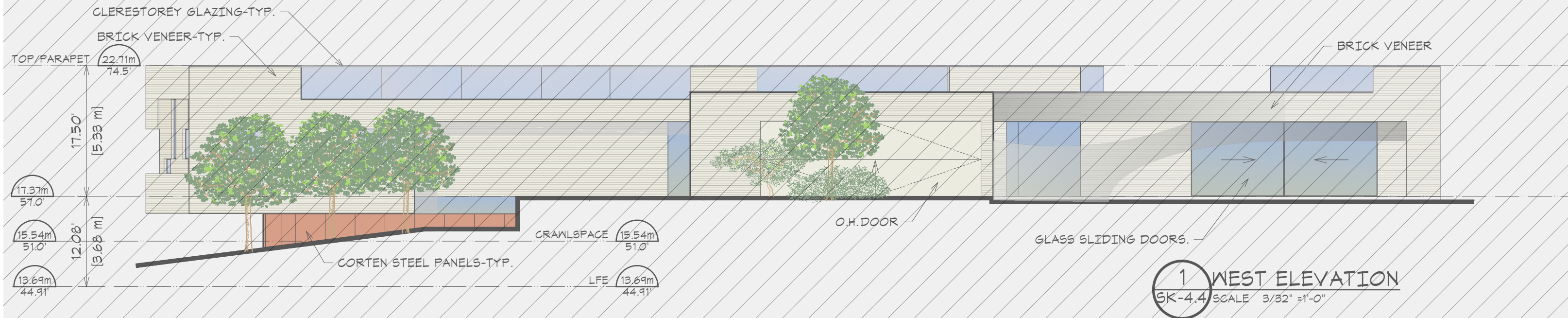
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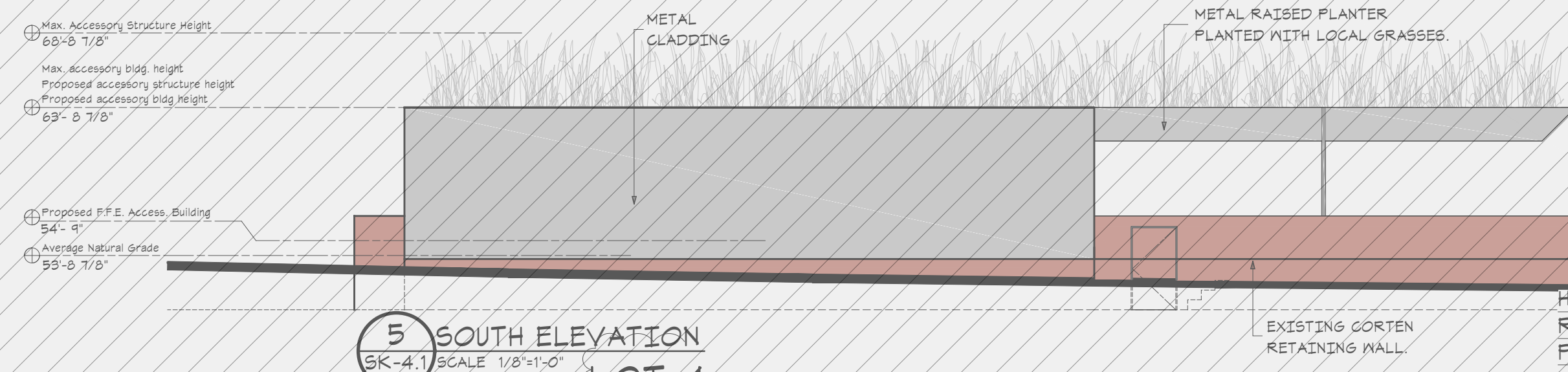
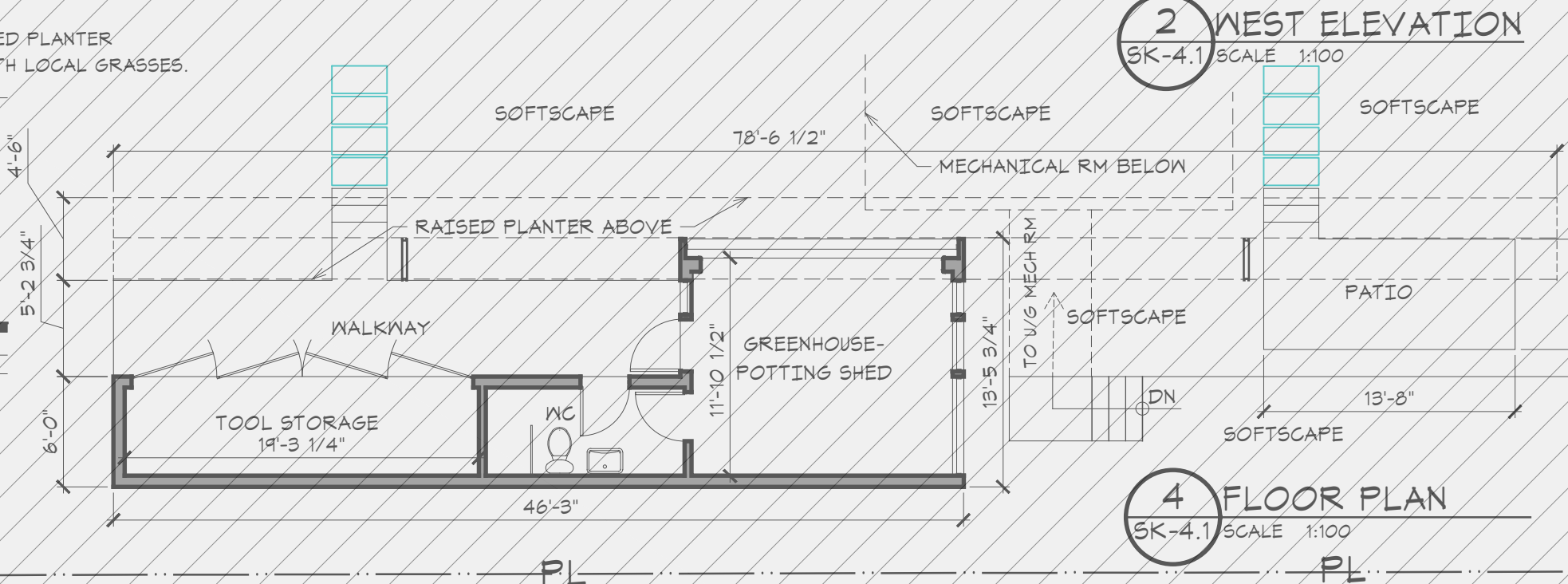
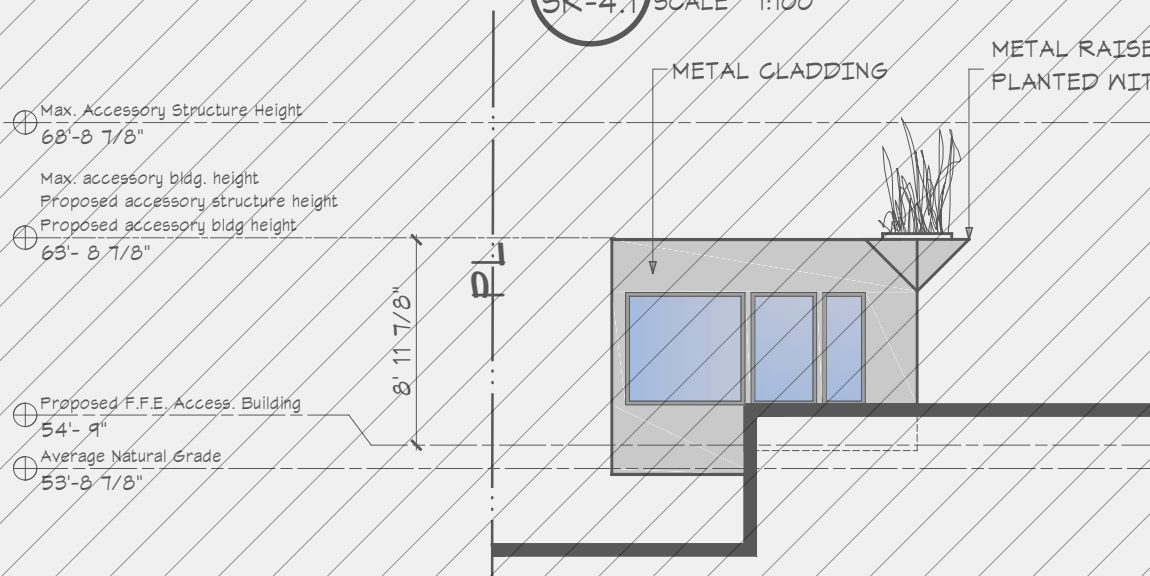
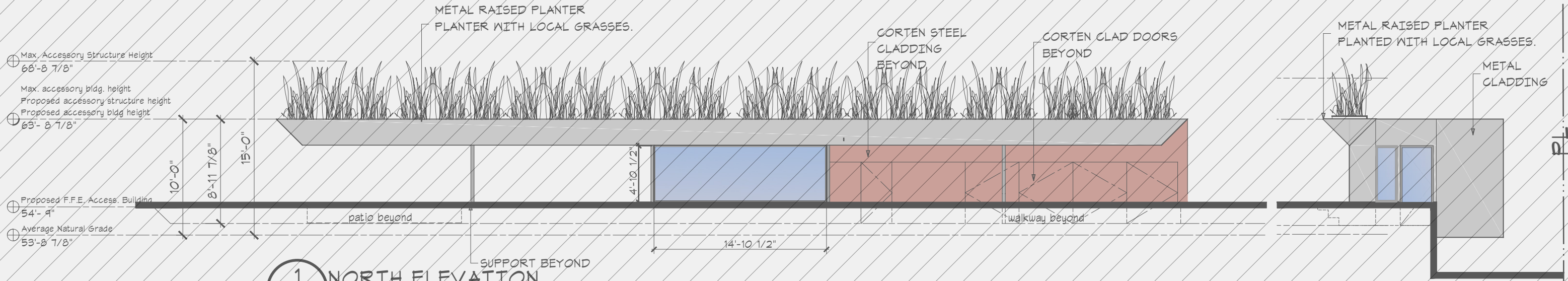


1 EAST ELEVATION
SK-4.3 SCALE 3/32"=1'-0"



2 NORTH ELEVATION
SK-4.3 SCALE 3/32"=1'-0"





LOT 4
GREENHOUSE PLANS & ELEVATIONS, EXISTING
SCALE 1:100

HERITAGE
REVITALIZATION
PROPOSAL
YORK PLACE SUBDIVISION

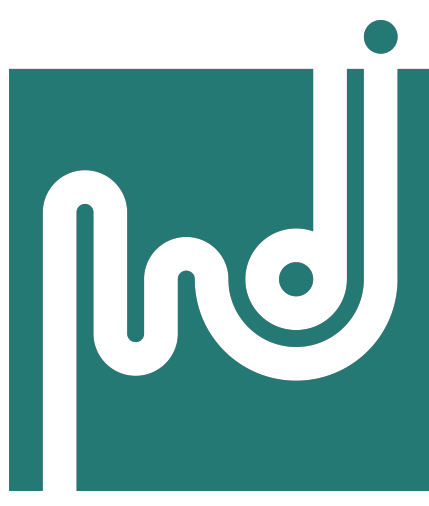
SK-4.1

Heritage Revitalization Agreement

York Place Subdivision: Landscape

Oak Bay, BC





MDI LANDSCAPE ARCHITECTS
3388A Tennyson Ave
Victoria, BC V8Z 3P6
P: 250.412.2891
E: admin@mdidesign.ca

9	HRA REV	2026-03-04
8	HRA REV	2024-12-17
7	REVISED PLANTING	2024-10-31
6	HRA REV	2024-08-12
5	HRA REV	2024-07-02
4	INFO	2024-06-18
3	ISSUED FOR HRA - REV	2024-03-28
2	ISSUED FOR HRA	2024-02-12
1	Issued for HRP	2023-04-06
No.	Issued For	Issue Date

client

project

Heritage Revitalization Proposal
York Place Subdivision
Oak Bay, BC

sheet title

Cover

project no. 122.28

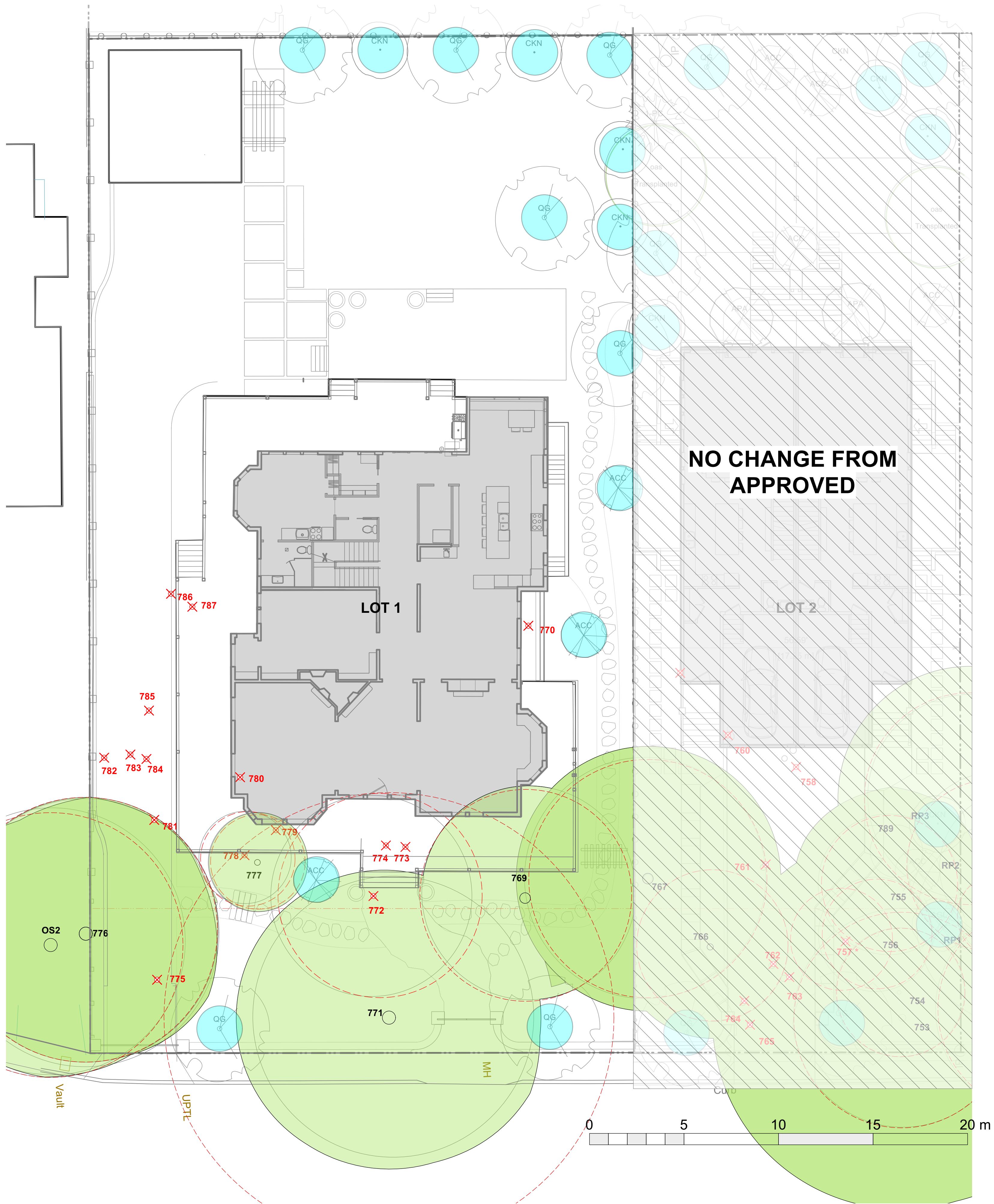
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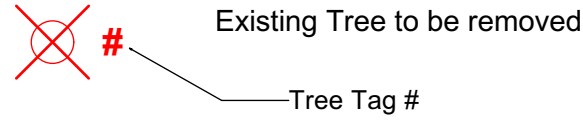
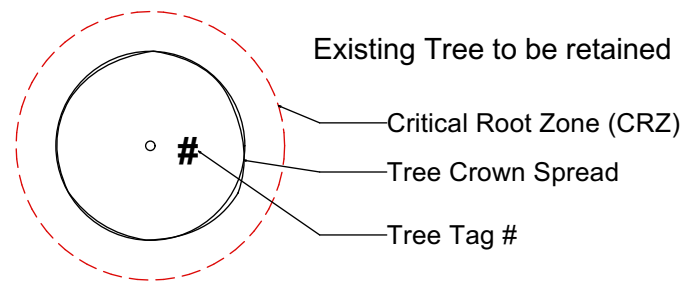
checked by SM

sheet no.

L0.0



EXISTING PLANT LEGEND
(Refer to Arborist Report and Tree Retention & Removal Plan for full details and management strategies).



- Designated Replacement Tree (bylaw protected)
- 12 - Garry Oak, 8 - Cornus 'Venus', 1 - Douglas Maple, 3 Vine Maple.
- Note - 4 Garry Oak to be located on Lot 4, refer to L0.03.
- Retained Existing Tree Canopy
- Refer to arborist report for existing tree canopy

CANOPY COVER SUMMARY - Lot 1			
TOTAL SITE AREA: 1545 m2			
REQUIRED CANOPY COVER (ZONE RS-3): 35%			
Onsite Retained Tree Canopy: 420m2			
Proposed Tree Canopy Cover			
QTY	SPECIES	Credit per Tree (m2)*	TOTAL CREDIT (m2)
7	Garry Oak	125	875
3	Vine Maple	25	75
4	Dogwood	25	100
PROPOSED TREE CANOPY CREDIT (m2)			1050
RETAINED + PROPOSED TREE CANOPY CREDIT (m2)			1470
CANOPY COVER %			95%

CANOPY COVER SUMMARY - Lot 2			
TOTAL SITE AREA: 930 m2			
REQUIRED CANOPY COVER (ZONE RS-5): 35%			
Onsite Retained Tree canopy: 484 m2			
Proposed Tree Canopy Cover			
QTY	SPECIES	Credit per Tree (m2)*	TOTAL CREDIT (m2)
5	Garry Oak	125	625
5	Vine Maple	25	125
1	Douglas Maple	25	25
2	Japanese Maple	25	50
5	Dogwood	25	125
1	Shore Pine	50	50
PROPOSED CANOPY CREDIT (m2)			1000
RETAINED + PROPOSED TREE CANOPY CREDIT (m2)			1484
CANOPY COVER %			160%

NO CHANGE FROM APPROVED



MDI LANDSCAPE ARCHITECTS
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3	ISSUED FOR HRA - REV	2024-03-28
2	ISSUED FOR HRA	2024-02-12
1	Issued for HRP	2023-04-06
No.	Issued For	Issue Date

client

project

Heritage Revitalization Proposal
York Place Subdivision
Oak Bay, BC

sheet title

Tree Retention and Removals

project no.	122.28
scale	1: 120 @ 24"x36"
drawn by	SC/ML
checked by	SM
sheet no.	L0.01



EXISTING PLANT LEGEND
(Refer to Arborist Report and Tree Retention & Removal Plan for full details and management strategies).

#

Existing Tree to be retained

#

Tree Crown Spread

#

Tree Tag #

#

Existing Tree to be removed

#

Tree Tag #

Proposed Tree Canopy

L0.03.

Retained Existing Tree Canopy

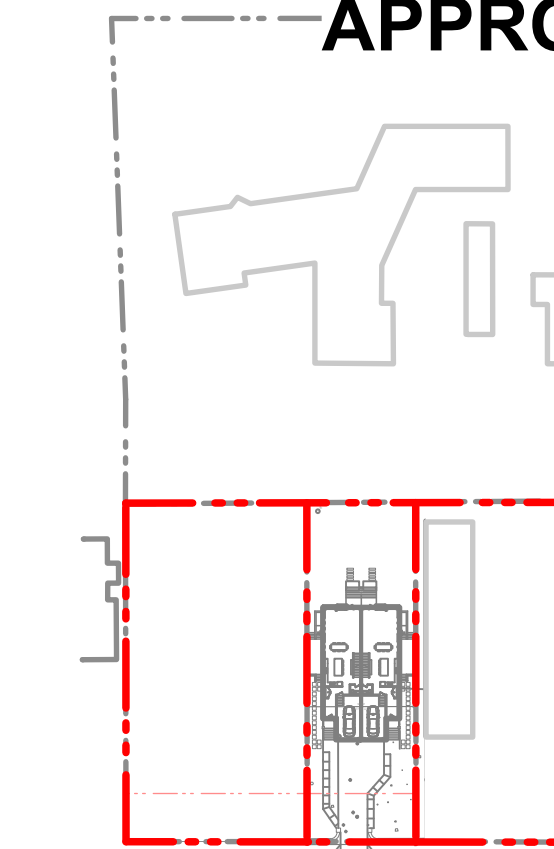
Refer to arborist report for existing tree canopy

CANOPY COVER SUMMARY - Lot 1			
TOTAL SITE AREA: 1545 m2			
REQUIRED CANOPY COVER (ZONE RS-3): 35%			
Onsite Retained Tree Canopy: 420m2			
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7	Garry Oak	125	875
3	Vine Maple	25	75
4	Dogwood	25	100
PROPOSED TREE CANOPY CREDIT (m2)			1050
RETAINED + PROPOSED TREE CANOPY CREDIT (m2)			1470
CANOPY COVER %			95%

CANOPY COVER SUMMARY - Lot 2			
TOTAL SITE AREA: 930 m2			
REQUIRED CANOPY COVER (ZONE RS-5): 35%			
Onsite Retained Tree canopy: 484 m2			
Proposed Tree Canopy Cover			
QTY	SPECIES	Credit per Tree (m2)*	TOTAL CREDIT (m2)
5	Garry Oak	125	625
5	Vine Maple	25	125
1	Douglas Maple	25	25
2	Japanese Maple	25	50
5	Dogwood	25	125
1	Shore Pine	50	50
PROPOSED CANOPY CREDIT (m2)			1000
RETAINED + PROPOSED TREE CANOPY CREDIT (m2):			1484
CANOPY COVER %			160%

CANOPY COVER SUMMARY - Lot 3			
TOTAL SITE AREA: 1310 m2			
REQUIRED CANOPY COVER (ZONE RS-3): 35%			
Onsite Retained Tree Canopy: 775 m2			
Proposed Tree Canopy Cover			
QTY	SPECIES	Credit per Tree (m2)*	TOTAL CREDIT (m2)
2	Garry Oak	125	250
7	Vine Maple	25	175
1	Edgie's White Wooder	25	25
PROPOSED CANOPY CREDIT (m2)			450
RETAINED + PROPOSED CANOPY CREDIT (m2)			1225
CANOPY COVER %			94%

NO CHANGE FROM APPROVED



#

Existing Tree to be retained

#

Tree Crown Spread

#

Tree Tag #

#

Existing Tree to be removed

#

Tree Tag #

Proposed Tree Canopy

L0.03.

Retained Existing Tree Canopy

Refer to arborist report for existing tree canopy

CANOPY COVER SUMMARY - Lot 1		
TOTAL SITE AREA: 1545 m2		
REQUIRED CANOPY COVER (ZONE RS-3): 35%		
Onsite Retained Tree Canopy: 420m2		
Proposed Tree Canopy Cover		
QTY	SPECIES	Credit per Tree (m2)*
7	Garry Oak	125
3	Vine Maple	25
4	Dogwood	25
PROPOSED TREE CANOPY CREDIT (m2)		1050
RETAINED + PROPOSED TREE CANOPY CREDIT (m2)		1470
CANOPY COVER %		95%

CANOPY COVER SUMMARY - Lot 2		
TOTAL SITE AREA: 930 m2		
REQUIRED CANOPY COVER (ZONE RS-5): 35%		
Onsite Retained Tree canopy: 484 m2		
Proposed Tree Canopy Cover		
QTY	SPECIES	Credit per Tree (m2)*
5	Garry Oak	125
5	Vine Maple	25
1	Douglas Maple	25
2	Japanese Maple	25
5	Dogwood	25
1	Shore Pine	50
PROPOSED CANOPY CREDIT (m2)		1000
RETAINED + PROPOSED TREE CANOPY CREDIT (m2):		1484
CANOPY COVER %		160%

CANOPY COVER SUMMARY - Lot 3		
TOTAL SITE AREA: 1310 m2		
REQUIRED CANOPY COVER (ZONE RS-3): 35%		
Onsite Retained Tree Canopy: 775 m2		
Proposed Tree Canopy Cover		
QTY	SPECIES	Credit per Tree (m2)*
2	Garry Oak	125
7	Vine Maple	25
1	Edgie's White Wooder	25
PROPOSED CANOPY CREDIT (m2)		450
RETAINED + PROPOSED CANOPY CREDIT (m2)		1225
CANOPY COVER %		94%

NO CHANGE FROM APPROVED

#

Existing Tree to be retained

#

Tree Crown Spread

#

Tree Tag #

#

Existing Tree to be removed

#

Tree Tag #

Proposed Tree Canopy

L0.03.

Retained Existing Tree Canopy

Refer to arborist report for existing tree canopy

CANOPY COVER SUMMARY - Lot 1		
TOTAL SITE AREA: 1545 m2		
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Proposed Tree Canopy Cover		
QTY	SPECIES	Credit per Tree (m2)*
7	Garry Oak	125
3	Vine Maple	25
4	Dogwood	25
PROPOSED TREE CANOPY CREDIT (m2)		1050
RETAINED + PROPOSED TREE CANOPY CREDIT (m2)		1470
CANOPY COVER %		95%

CANOPY COVER SUMMARY - Lot 2		
TOTAL SITE AREA: 930 m2		
REQUIRED CANOPY COVER (ZONE RS-5): 35%		
Onsite Retained Tree canopy: 484 m2		
Proposed Tree Canopy Cover		
QTY	SPECIES	Credit per Tree (m2)*
5	Garry Oak	125
5	Vine Maple	25
1	Douglas Maple	25
2	Japanese Maple	25
5	Dogwood	25
1	Shore Pine	50
PROPOSED CANOPY CREDIT (m2)		1000
RETAINED + PROPOSED TREE CANOPY CREDIT (m2):		1484
CANOPY COVER %		160%

CANOPY COVER SUMMARY - Lot 3		
TOTAL SITE AREA: 1310 m2		
REQUIRED CANOPY COVER (ZONE RS-3): 35%		
Onsite Retained Tree Canopy: 775 m2		
Proposed Tree Canopy Cover		
QTY	SPECIES	Credit per Tree (m2)*
2	Garry Oak	125
7	Vine Maple	25
1	Edgie's White Wooder	25
PROPOSED CANOPY CREDIT (m2)		450
RETAINED + PROPOSED CANOPY CREDIT (m2)		1225
CANOPY COVER %		94%

NO CHANGE FROM APPROVED

#

Existing Tree to be retained

#

Tree Crown Spread

#

Tree Tag #

#

Existing Tree to be removed

#

Tree Tag #

Proposed Tree Canopy

L0.03.

Retained Existing Tree Canopy

Refer to arborist report for existing tree canopy

CANOPY COVER SUMMARY - Lot 1		
TOTAL SITE AREA: 1545 m2		
REQUIRED CANOPY COVER (ZONE RS-3): 35%		
Onsite Retained Tree Canopy: 420m2		
Proposed Tree Canopy Cover		
QTY	SPECIES	Credit per Tree (m2)*
7	Garry Oak	125
3	Vine Maple	25
4	Dogwood	25
PROPOSED TREE CANOPY CREDIT (m2)		1050
RETAINED + PROPOSED TREE CANOPY CREDIT (m2)		1470
CANOPY COVER %		95%

CANOPY COVER SUMMARY - Lot 2		
TOTAL SITE AREA: 930 m2		
REQUIRED CANOPY COVER (ZONE RS-5): 35%		
Onsite Retained Tree canopy: 484 m2		
Proposed Tree Canopy Cover		
QTY	SPECIES	Credit per Tree (m2)*
5	Garry Oak	125
5	Vine Maple	25
1	Douglas Maple	25
2	Japanese Maple	25
5	Dogwood	25
1	Shore Pine	50
PROPOSED CANOPY CREDIT (m2)		1000
RETAINED + PROPOSED TREE CANOPY CREDIT (m2):		1484
CANOPY COVER %		160%

CANOPY COVER SUMMARY - Lot 3		
TOTAL SITE AREA: 1310 m2		
REQUIRED CANOPY COVER (ZONE RS-3): 35%		
Onsite Retained Tree Canopy: 775 m2		
Proposed Tree Canopy Cover		
QTY	SPECIES	Credit per Tree (m2)*
2	Garry Oak	125
7	Vine Maple	25
1	Edgie's White Wooder	25
PROPOSED CANOPY CREDIT (m2)		450
RETAINED + PROPOSED CANOPY CREDIT (m2)		1225
CANOPY COVER %		94%

NO CHANGE FROM APPROVED

#

Existing Tree to be retained

#

Tree Crown Spread

#

Tree Tag #

#

Existing Tree to be removed

#

Tree Tag #

Proposed Tree Canopy

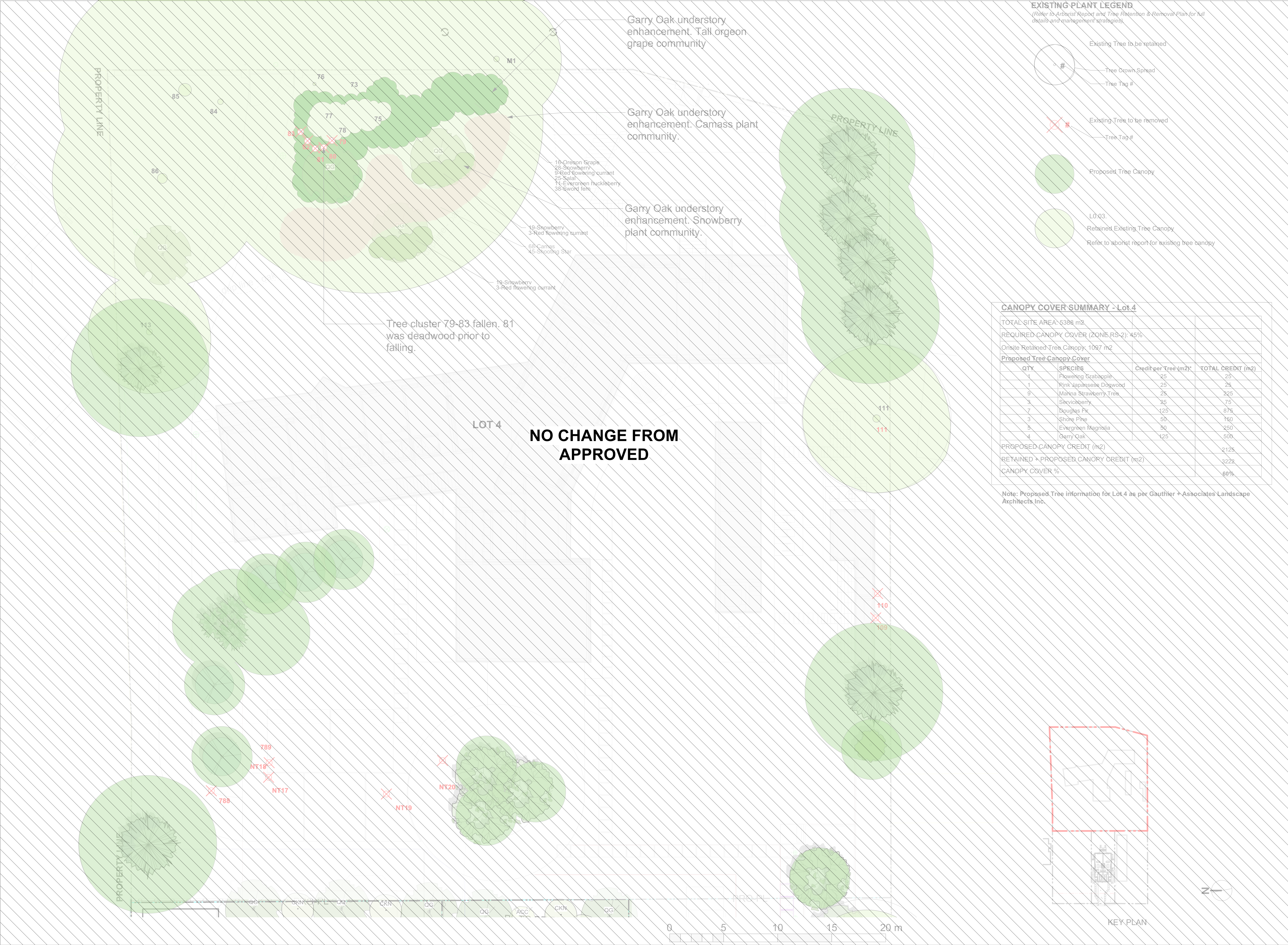
L0.03.

Retained Existing Tree Canopy

Refer to arborist report for existing tree canopy

CANOPY COVER SUMMARY - Lot 1		
TOTAL SITE AREA: 1545 m2		
REQUIRED CANOPY COVER (ZONE RS-3): 35%		
Onsite Retained Tree Canopy: 420m2		
Proposed Tree Canopy Cover		
QTY	SPECIES	Credit per Tree (m2)*
7	Garry Oak	125
3	Vine Maple	25
4	Dogwood	25
PROPOSED TREE CANOPY CREDIT (m2)		1050
RETAINED + PROPOSED TREE CANOPY CREDIT (m2)		1470
CANOPY COVER %		95%

||
||
||



EXISTING PLANT LEGEND
(Refer to Arbiist Report and Tree Retention & Removal Plan for full details and management strategies)

#

Existing Tree to be retained

Tree Crown Spread

Tree Tag #

#

Existing Tree to be removed

Tree Tag #

Proposed Tree Canopy

L0.03:
Retained Existing Tree Canopy

Refer to arbiest report for existing tree canopy

CANOPY COVER SUMMARY - Lot 4

TOTAL SITE AREA: 5388 m2			
REQUIRED CANOPY COVER (ZONE RS-2): 45%			
Onsite Retained Tree Canopy: 1097 m2			
Proposed Tree Canopy Cover			
QTY	SPECIES	Credit per Tree (m2)	TOTAL CREDIT (m2)
1	Flowering Crabapple	25	25
1	Pink Japanese Dogwood	25	25
9	Mahua Strawberry Tree	25	225
3	Serviceberry	25	75
7	Douglas Fir	125	875
3	Shore Pine	50	150
5	Evergreen Magnolia	50	250
4	Garry Oak	125	500
PROPOSED CANOPY CREDIT (m2)			2125
RETAINED + PROPOSED CANOPY CREDIT (m2)			3222
CANOPY COVER %			60%

Note: Proposed Tree information for Lot 4 as per Gauthier + Associates Landscape Architects Inc.

MDI LANDSCAPE ARCHITECTS

3388A Temnyson Ave
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2	ISSUED FOR HRA	2024-02-12
1	Issued for HRP	2023-04-06
No.	Issued For	Issue Date

client

project

Heritage Revitalization Proposal
York Place Subdivision
Oak Bay, BC

sheet title

Tree Canopy - Lot 4

project no.

122.28

scale

1: 150 @ 24"x36"

drawn by

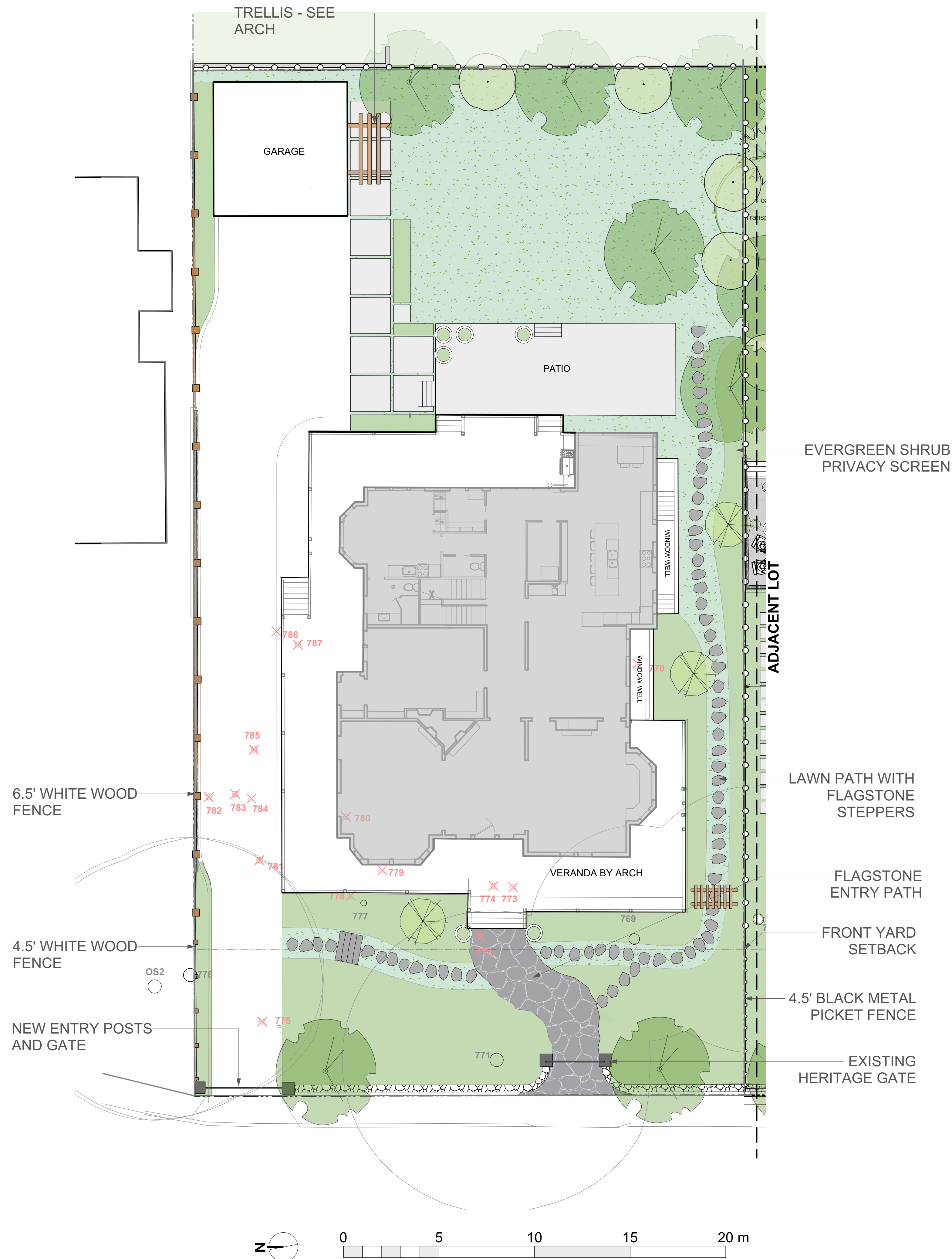
SC/ML

checked by

SM

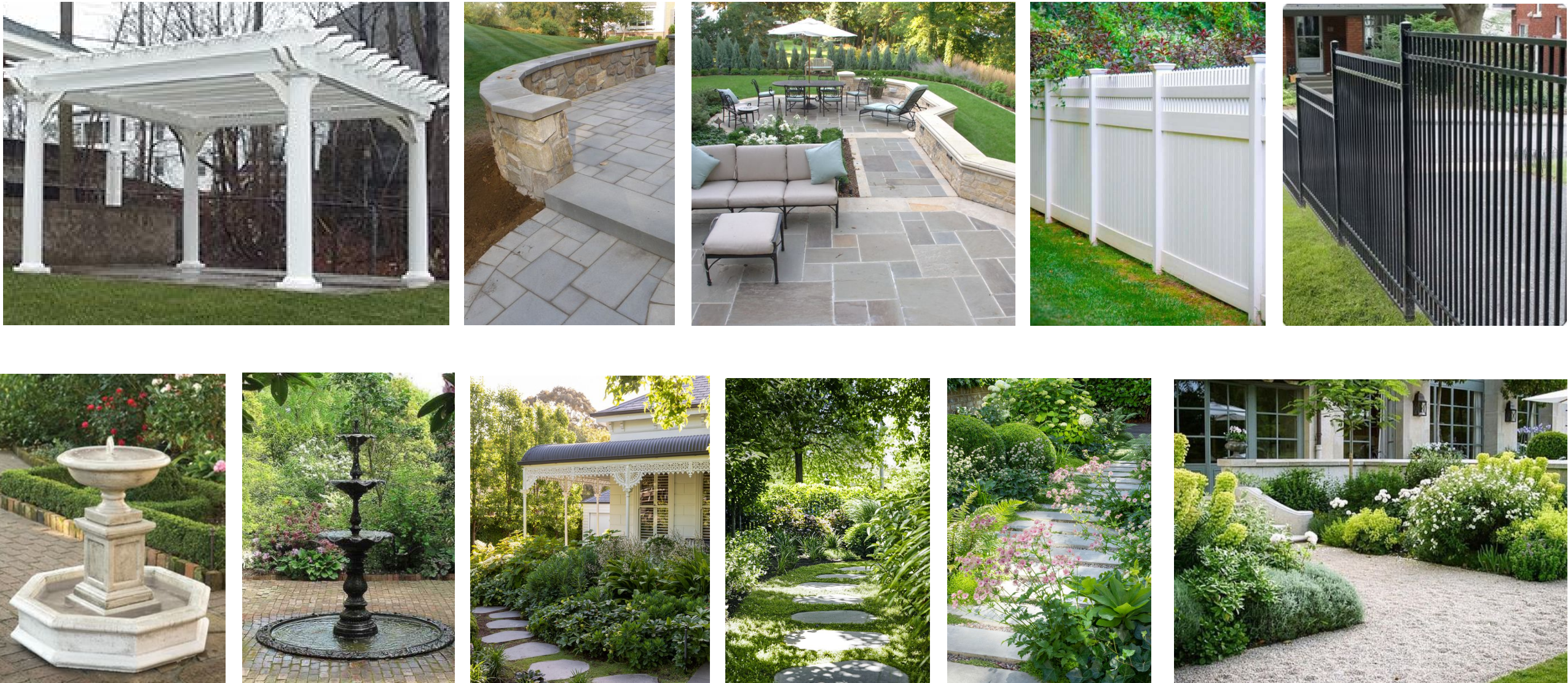
sheet no.

L0.03



MATERIALS LEGEND

- Cast in Place Concrete
- Flagstone Walkway/Patio
- Planting Area
- Lawn
- Rock Wall
- Concrete Wall
- 6.5' Metal Picket Fence (Black)
- 4.5' Metal Picket Fence (Black)
- Existing Heritage Wall to be Preserved As-Is
- Stone Stairs
- Concrete Stairs
- Ornamental Planter
- Stepping Stones
- Wood Arbor





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No.	Issued For	Issue Date

client

project

Heritage Revitalization Proposal
York Place Subdivision
Oak Bay, BC

sheet title

Lot 1 Materials

project no. 122.28

scale 1: 120 @ 24"x36"

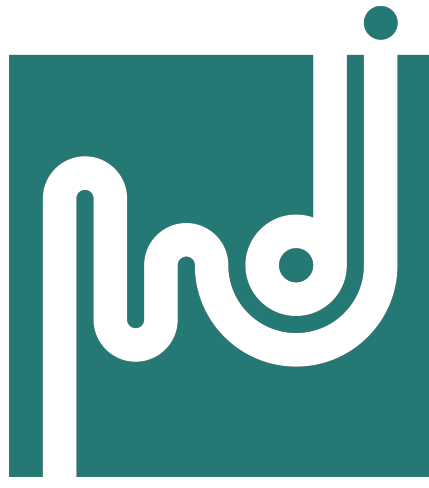
drawn by SC/ML

checked by SM

sheet no.

L1.01





MDI LANDSCAPE ARCHITECTS
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3	ISSUED FOR HRA - REV	2024-03-28
2	ISSUED FOR HRA	2024-02-12
1	Issued for HRP	2023-04-06
No.	Issued For	Issue Date

client

project

Heritage Revitalization Proposal
York Place Subdivision
Oak Bay, BC

sheet title

Lot 2 Materials

project no.	122.28
scale	1:120 @ 24"x36"
drawn by	SC/ML
checked by	SM
sheet no.	L1.02



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York Place Subdivision
Oak Bay, BC

sheet title

Lot 3 Materials

project no.	122.28
scale	1:120 @ 24"x36"
drawn by	SC/ML
checked by	SM
sheet no.	

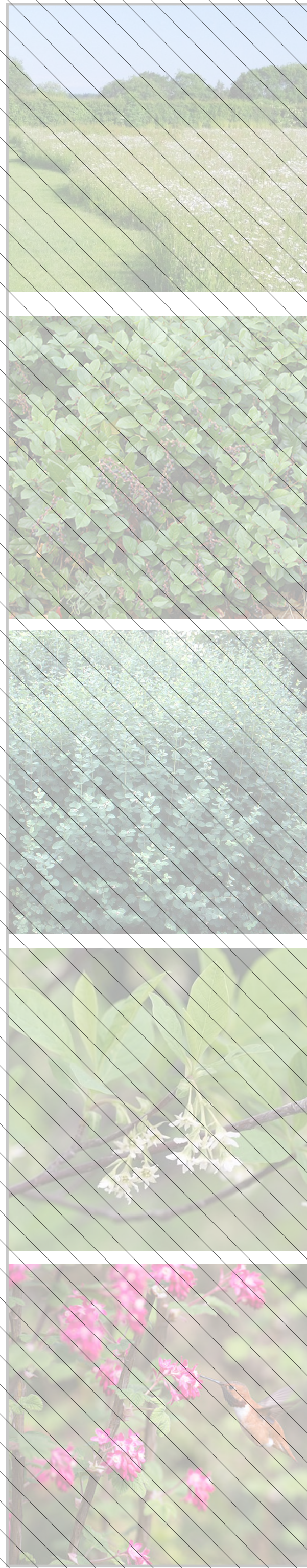
L1.03

TREES



Dogwood
Vine maple
Japanese maple
Garry oak

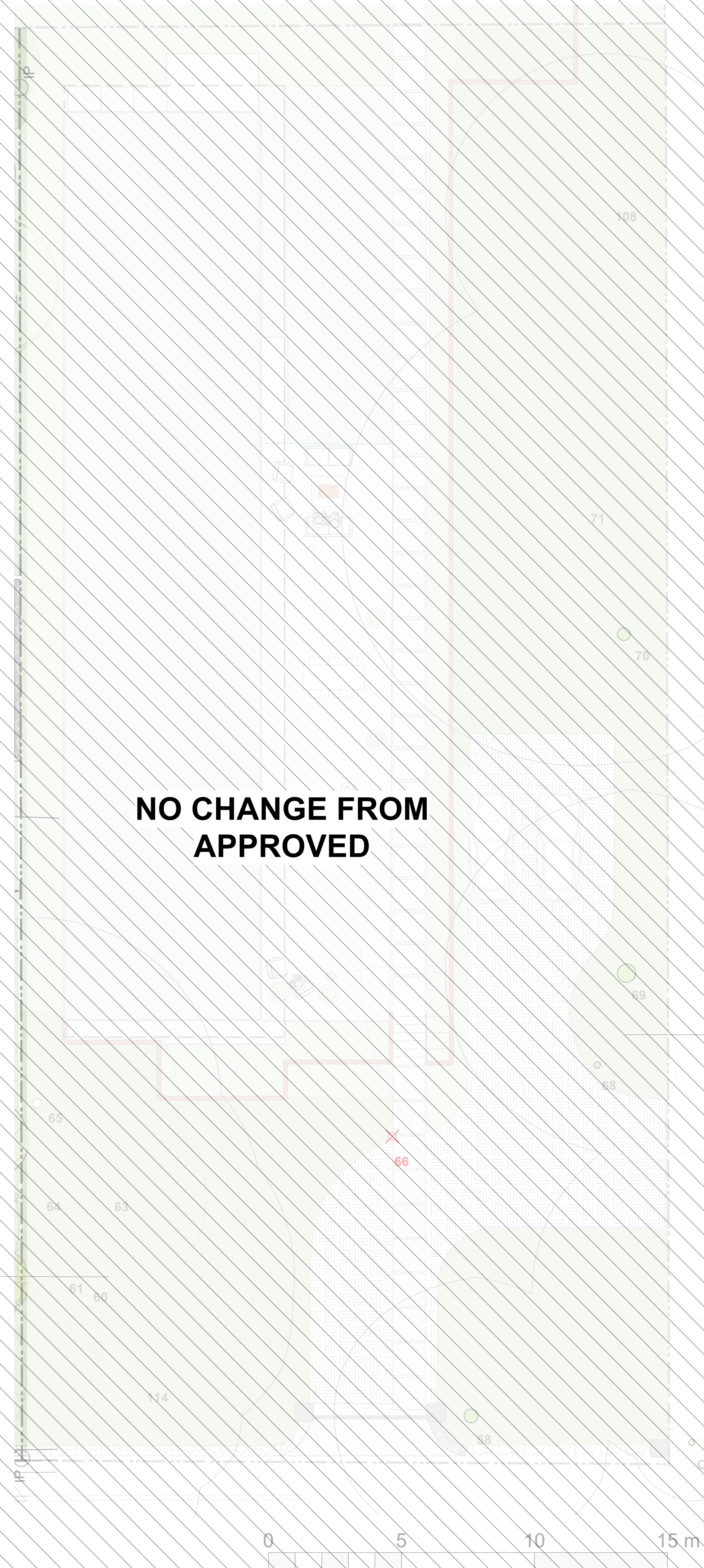
PNW NATIVE PLANTS / GARRY OAK UNDERSTORY



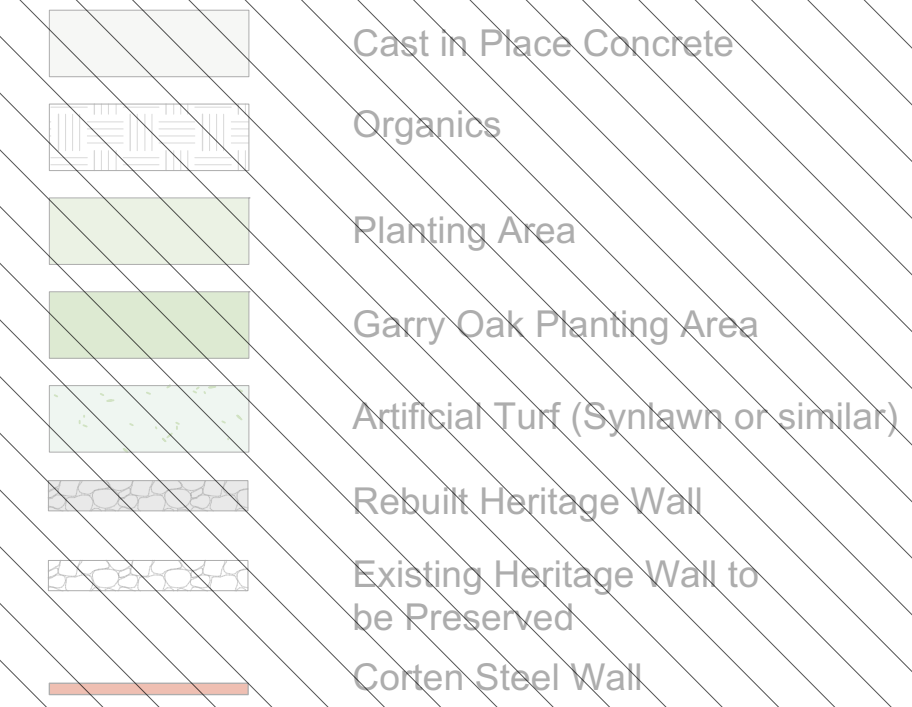
Salal
Snowberry
June plum
Red flowering currant
Tufted hair grass

~~*~~

**NO CHANGE FROM
APPROVED**



MATERIALS LEGEND



WEST COAST CONTEMPORARY

TREES

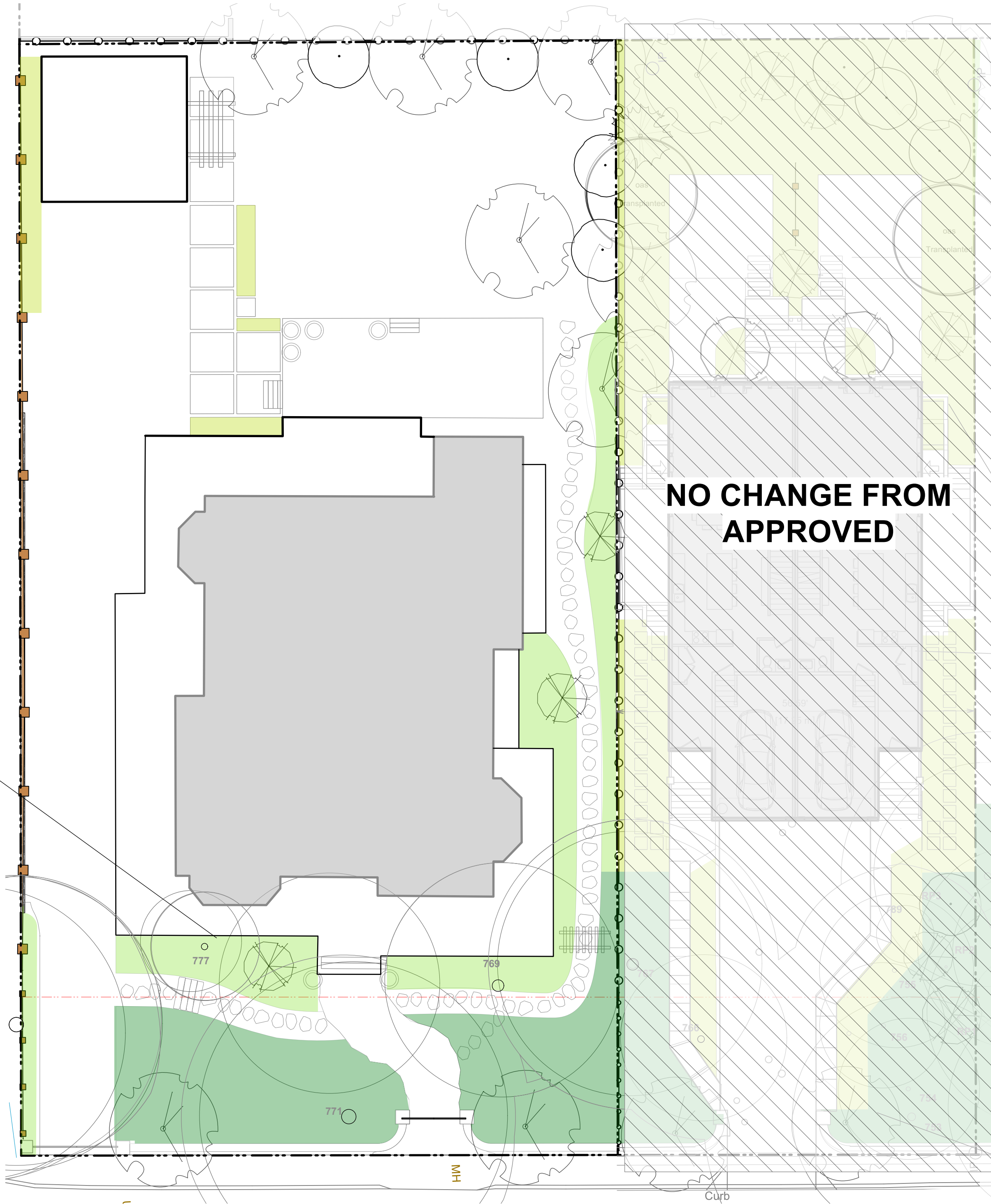


Dogwood
Vine maple
Japanese maple
Garry oak

CONTEMPORARY ENGLISH COUNTRY



Camelia
Lady's Mantle
Lavender
Hydrangea
+



GARRY OAK WOODLAND LANDSCAPE

The landscape design for the York Street frontage mimics a Garry Oak woodland landscape. This typology fits with the single-family character and creates and please streetscape presence. A mix of native shrubs and perennials will be planted to enhance biodiversity and habitat structure (e.g. shrub layer, mid-story, and canopy) and enhance pollinator species. The plants have also been selected for their aesthetics and the ability of future homeowners to maintain the landscape. MDI will provide a maintenance manual for the Garry Oak Woodland landscape which will help homeowners understand and care for their landscape.

TREE PLANTING STRATEGY

The landscape at Annandale is very old and not considered to be acceptable given our current knowledge of safety and ecological health. Invasive plants such as English Ivy were initially planted and have consumed large areas of the landscape. Laburnum which was a plant first used by Gertrude Jenkins has toxic seeds and tends to be invasive in the Victoria area. Removal of these and other non-native trees and plants will create space for native trees and shrubs. Many of the Garry Oaks on the property are older, majestic trees. Planting new Garry Oaks will help regenerate the aging tree population and contribute to future urban forest canopy over the next 100+ years. We are proposing to plant 4 cm caliper Garry Oaks (this seems to be about the largest size of tree obtainable in the Victoria area) as well as smaller 1 gallon Garry Oaks. The intent is to promote Garry Oak succession using plants of varying ages and seed stock. In this way the trees don't all come from the same genetic stock.

WEST COAST CONTEMPORARY

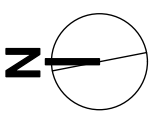


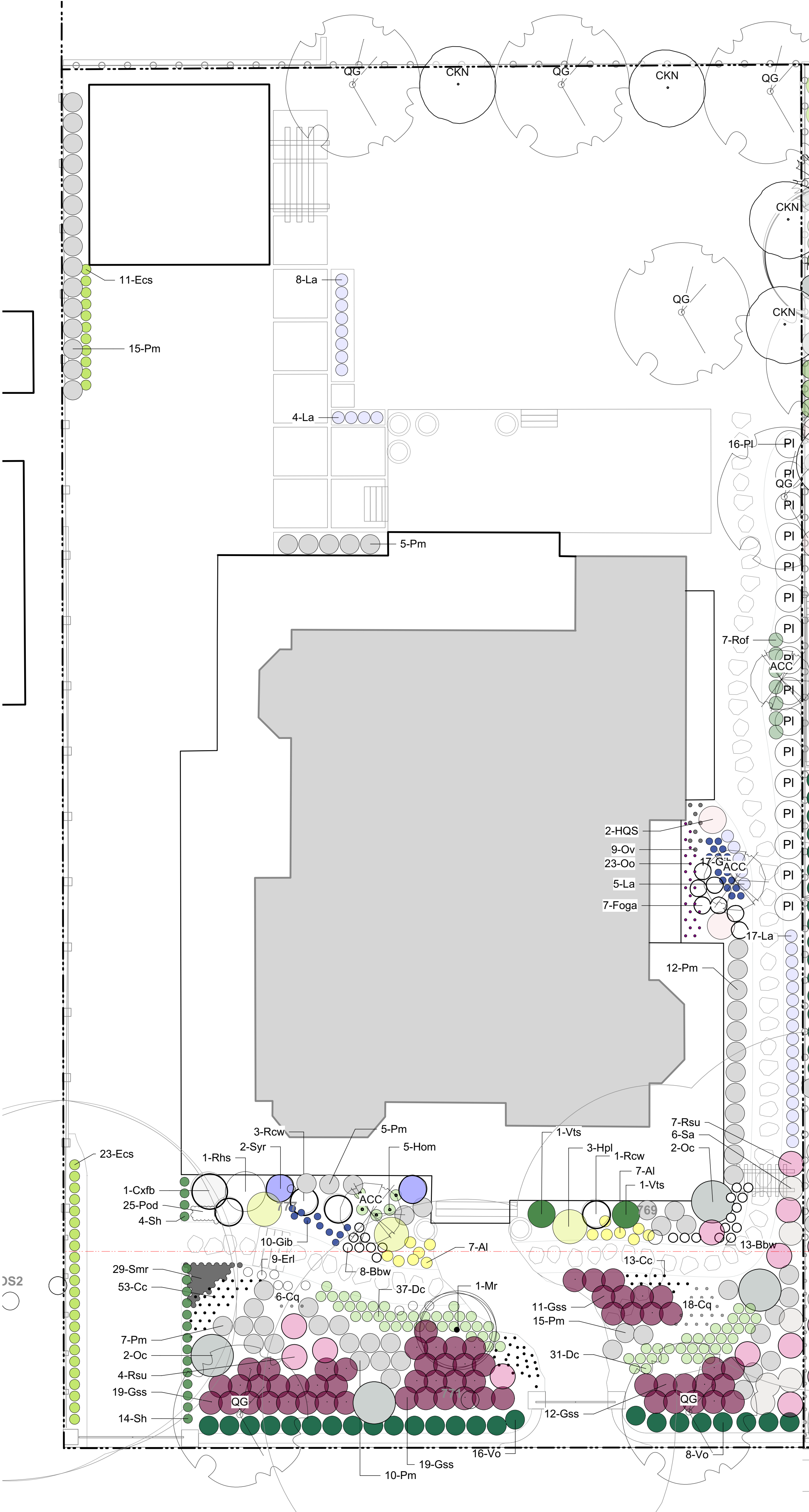
Anemone
Rhododendron
Japanese Holly
Miscanthus
+

PNW NATIVE PLANTS / GARRY OAK UNDERSTORY



Salal
Snowberry
June plum
Red flowering currant
+





PLANT LIST - LOT 1

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
TREES:				
ACC	3	Acer circinatum	Vine maple	2.4 m ht, 1.5 width
CKN	4	Cornus x 'Venus'	White Flowering Dogwood	5.0cm cal, b&b
QG	7	Quercus garryana	Garry oak	5.0cm cal, b&b
SHRUBS & PERENNIALS				
Al	14	Alchemilla mollis	Lady's mantle	#1 pot
Bbw	21	Bergenia 'Bressingham White'	Bergenia 'Bressingham White'	#1 pot
Cq	24	Camassia quamash	Camas	2 bulbs each. 40cm o.c.
Cxfb	1	Camellia x 'Fairy Blush'	Fairy Blush camellia	#3 pot
Cc	66	Cornus canadensis	Bunchberry	Sp3
Dc	68	Deschampsia cespitosa	Tufted Hair Grass	#1 pot
Ecs	34	Erica carnea 'Springwood White'	White winter heath	#1 pot
Erl	9	Eriophyllum lanatum	Wooly Sunflower	#1 pot
Foga	7	Fothergilla gardenii	Dwarf fothergilla	#1 pot
Gss	61	Gaultheria shallon	Salal	#1 pot, 40cm o.c.
Gib	27	Geranium 'Brookside'	Blue Cranesbill	#1 pot
Hom	5	Helleborus orientalis 'Montague'	Montague lenten rose	#1 pot
Hpl	3	Hydrangea paniculata 'Limelight'	Limelight hydrangea	#3 pot
HQS	2	Hydrangea quercifolia 'Snowflake'	Oak-Leaved hydrangea	#5 pot
La	34	Lavandula angustifolia 'Hidcote'	Hidcote English lavender	#1 pot
Mr	1	Magnolia stellata 'Royal Star'	Royal Star magnolia	1.2m b&b
Oc	4	Oemleria cerasiformis	Indian Plum	#3 pot
Ov	9	Origanum vulgare	Common oregano	#1 pot
Oo	23	Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.
Pod	25	Polygonatum odoratum 'Variegatum'	Solomon's seal	#1 pot
Pm	69	Polystichum munitum	Sword fern	#1 pot
Pl	16	Prunus lusitanica	Portuguese Laurel	#1 pot
Rhs	1	Rhododendron 'Snow Lady'	Snow Lady Rhododendron	#3 pot
Rcw	4	Rhododendron x 'Cunningham's White'	Cunningham's White rhododendron	#3 pot
Rsu	11	Ribes sanguineum	Red flowering currant	#3 pot
Rof	7	Rosmarinus officinalis	Rosemary	#2 pot
Sh	18	Sarcococca hookeriana var humilis	Himilayan sweet box	#1 pot
Smr	29	Smilacina racemosa	Silkyleaf Woodwaxen	#1 pot
Sa	6	Symphoricarpos alba	Snowberry	#1 pot
Syr	2	Syringa meyeri 'Palibin'	Dwarf Korean lilac	#2 pot
Vo	24	Vaccinium ovatum	Evergreen huckleberry	#3 pot
Vts	2	Viburnum tinus 'Spring Bouquet'	Spring Bouquet viburnum	#5 pot

GENERAL PLANTING NOTE

1. Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.

2. Indicates native species

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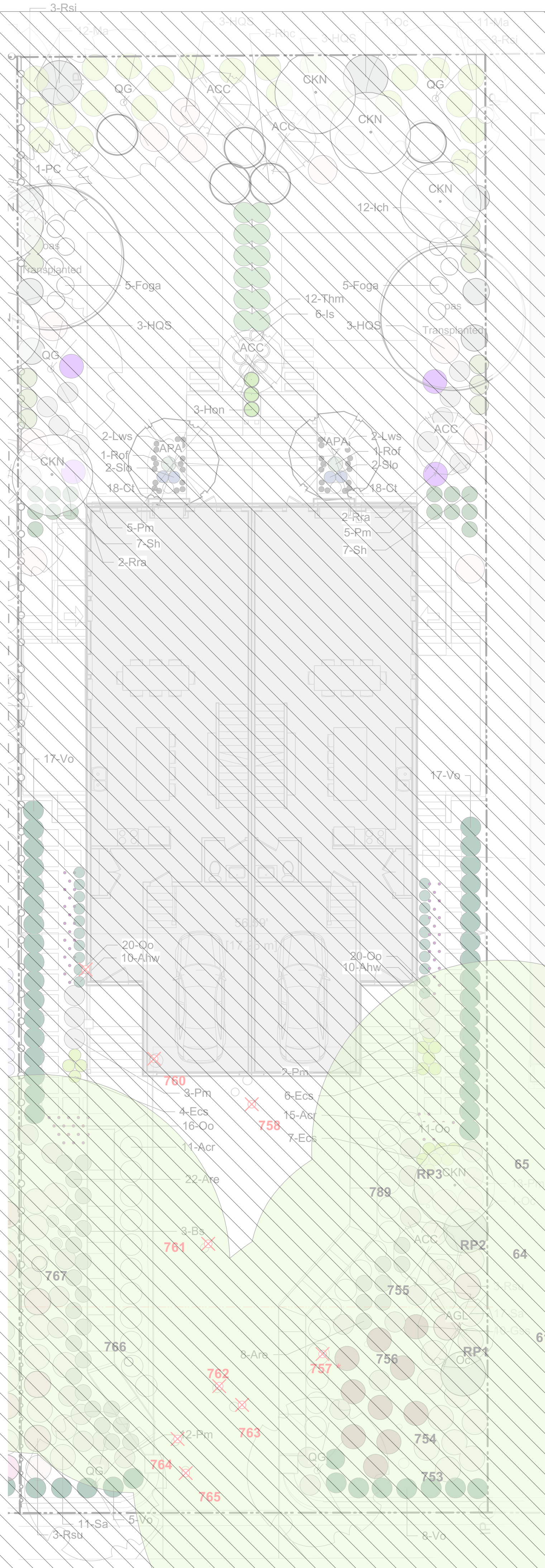
scale 1: 100 @ 24"x36"

drawn by SC/ML

checked by SM

sheet no.

L2.02



PLANT LIST - LOT 2

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
TREES:				
AQC	5	Acer circinatum	Vine maple	2.4 m ht, 1.5 width
AGL	1	Acer glabrum	Douglas Maple	3.0 m ht
APA	2	Acer palmatum	Japanese Maple	4cm cal., b&b, multi-stem.
CKN	5	Cornus x 'Venus'	White Flowering Dogwood	5.0cm cal, b&b
PC	1	Pinus contorta var. contorta	Shore Pine	4m HT B&B Specimen
QG	5	Quercus garryana	Garry oak	5.0cm cal, b&b
	0			

SHRUBS & PERENNIALS

Acr	26	Abelia chinensis 'Rose Creek'	Rose Creek Abelia	#2 pot
Ahw	20	Anemone x hybrida 'Whirlwind'	Whirlwind Japanese Anemone	#1 pot
Are	30	Arctostaphylos 'Emerald Carpet'	Carpet manzanita	#1 pot / 60 cm Q.C.
Bs	3	Blechnum spicant	Deer Fern	#1 pot
Ct	36	Cerastium tomentosum	Snow in summer	Sp3, 30cm o.c.
Ecs	17	Erica carnea 'Springwood White'	White winter heath	#1 pot
Foga	10	Fothergilla gardenii	Dwarf fothergilla	#1 pot
Gse	10	Gaultheria shallon	Salal	#1 pot, 40cm o.c.
Hon	3	Hebe odora 'New Zealand Gold'	New Zealand Gold Hebe	#1 pot
HQS	12	Hydrangea quercifolia 'Snowflake'	Oak-Leaved hydrangea	#5 pot
Ich	12	Ilex crenata 'Helleri'	Helleri holly	#1 pot
Is	6	Iris siberica 'Swans in Flight'	Swans in Flight iris	#1 pot
Lws	4	Lavandula x intermedia 'White Spike'	White Spike Lavandin	#1 pot
Ma	23	Mahonia aquifolium	Oregon Grape	#2 pot
Oc	4	Oemleria cerasiformis	Indian Plum	#3 pot
Qo	67	Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.
Rm	40	Polystichum munitum	Sword fern	#1 pot
Rhc	5	Rhododendron catawbiense	Catawba Rhododendron	#3 pot
Rra	4	Rhododendron x 'Ramapo'	Ramapo Rhododendron	#3 pot
Rf	8	Ribes cereum	Red flowering currant	#3 pot
Rf	8	Ribes officinalis	White Flowering Currant	#3 pot
Rf	8	Ribes	Rosemary	#2 pot
Slo	4	Salvia officinalis	Culinary sage	#1 pot
Sh	14	Sarcococca hookeriana var. humilis	Himalayan sweet box	#2 pot
Sa	28	Symphoricarpos alba	Snowberry	#1 pot
Thm	12	Taxus x media 'H.M. Eddie'	Eddie Yew	#5 pot
Vo	47	Vaccinium ovatum	Evergreen huckleberry	#3 pot

NO CHANGE FROM
APPROVED

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 - Indicates native species



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Lot 2 Planting

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